

**CITY OF HUNTINGTON BEACH
PLANNING COMMISSION STUDY SESSION**

**DRAFT MITIGATED NEGATIVE DECLARATION NO. 08-12,
GENERAL PLAN AMENDMENT NO. 08-04, ZONING MAP
AMENDMENT NO. 08-04, TENTATIVE TRACT MAP NO. 17239,
CONDITIONAL USE PERMIT NO. 08-25
(WARDLOW RESIDENTIAL SUBDIVISION)
September 11, 2012**

SUMMARY

- **Location:** 9191 Pioneer Drive, 92646 (north side of Pioneer Drive, east of Magnolia Avenue)
- **Proposed Project:** The project proposes to subdivide and develop the 8.35-acre former Wardlow School site to accommodate 49 lots for new detached single-family homes. All existing school buildings and onsite improvements are proposed to be demolished in conjunction with the project.

The project consists of the following entitlement requests:

- **Mitigated Negative Declaration:** to analyze the potential environmental impacts associated with the project;
- **General Plan Amendment (GPA):** to amend the existing Land Use Element designation from Public with an underlying designation of Residential Low Density (P(RL)) to Residential Low Density (RL-7), which allows a maximum density of seven dwelling units per acre;
- **Zoning Map Amendment (ZMA):** to amend the existing zoning designation from Public-Semipublic (PS) to Residential Low Density (RL);
- **Tentative Tract Map:** to subdivide 8.35 acres of the subject property to accommodate 49 numbered lots for new detached single-family homes and seven lettered lots A-G for streets, landscaping, and a parking lot to be dedicated to the City; and
- **Conditional Use Permit:** to permit the development of a 49 unit single-family residential subdivision proposed as a Planned Unit Development (PUD) with varying lot size that average approximately 4,250 square feet (50 feet wide by 85 feet deep) and associated infrastructure and site improvements, including offsite sewer, water and storm drain improvements.

The project is adjacent to the City's Wardlow Park. The project is proposing to dedicate a 0.82 acre portion of land and construct a new landscaped parking lot containing 80 parking spaces for the purposes of providing parking for those utilizing the adjacent Wardlow Park. This parking lot exceeds the project's 0.66 acre Quimby Act requirement for parkland dedication and is to be incorporated into the adjacent Wardlow Park and its Huntington Valley Little League baseball facilities.

The project will be developed as a PUD because it proposes residential lot sizes that do not comply with the RL zoning standards. In accordance with Section 210.12 – *Planned Unit Development Supplemental Standards and Provisions* of the Huntington Beach Zoning Subdivision Ordinance (HBZSO), the project is required to provide a mutual benefit for the residents of the project as well as the general public. The mutual benefits proposed by the project include a 0.82 acre dedication of land for a new 80-space parking lot to be incorporated into the adjacent Wardlow Park. The proposed land dedication and improvements exceed what would normally be required from a developer based upon Quimby Act requirements. Additional public benefits consist of allowing park users to park on the tract's private streets, water quality and storm drain improvements, including construction of a 1,905 sq. ft. of storm drain, replacement of the existing snack bar and fencing, and lighting improvements (See Attachment No. 2). These proposed improvements exceed standard City requirements.

❑ **Background:**

- The Wardlow School site, totaling 14.4 acres, was owned by the Fountain Valley Unified School District. The school was designated as a closed school site, and in 2005, the School District decided to sell the site. In November 2005, the City acquired six acres of the school site to be maintained as open space. The remaining 8.35 acres were acquired by the project proponent and are the subject of the proposed project.
- Several community meetings have been held by the applicant with respect to the proposed project.
- The Subdivision Committee reviewed and conditionally approved the proposed tentative tract map for the project on July 11, 2012.

❑ **CEAQ Analysis/Review:**

- On August 14, 2012, the Environmental Assessment Committee (EAC) approved the processing of a mitigated negative declaration (MND) for the project. The draft MND indicates that the project would not have significant environmental impacts with incorporation of recommended mitigation measures that pertain to biological resources, geology/soils, hydrology/water quality, hazards and hazardous materials, cultural resources, and mandatory findings of significance.
- Draft MND No. 08-12 has been made available for a 20-day public review period from August 23, 2012 to September 12, 2012 (available at [http://www.surfcity-hb.org/Government/Departments/Planning/ Environmentalreports.cfm](http://www.surfcity-hb.org/Government/Departments/Planning/Environmentalreports.cfm)).

❑ **Planning Issues:**

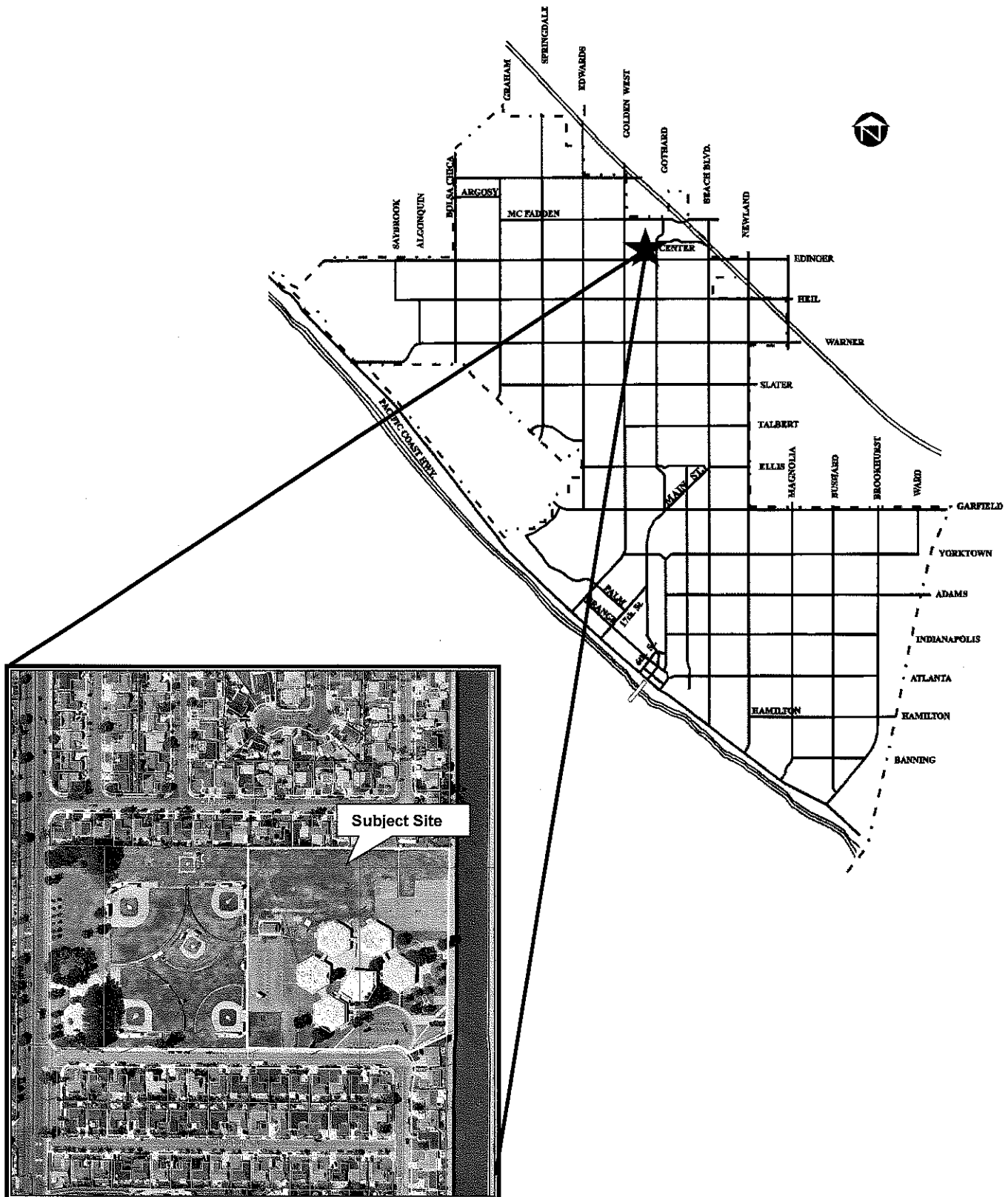
- Land use compatibility of the proposed GPA, ZMA, and 49-unit single-family residential project with the surrounding properties;
- Compliance of the proposed 49-unit project with provisions of the HBZSO and Subdivision Map Act; and
- The proposed public benefits as required in accordance with Section 210.12 – *PUD Supplemental Standards and Provisions* regarding PUD developments.

❑ **Planning Commission public hearing tentatively scheduled for September 25, 2012**

❑ **Attachment:**

1. Vicinity Map
2. Project Narrative and community benefits summary dated & received May 15, 2012
3. Project plans dated & received May 15, 2012 and July 9, 2012
4. Code Requirements Letter (for informational purposes only), dated July 23, 2012

SH:RR:AG:jd



VICINITY MAP

GENERAL PLAN AMENDMENT NO. 08-04, ZONING MAP AMENDMENT NO. 08-04,
TENTATIVE TRACT MAP NO. 17239, CONDITIONAL USE PERMIT NO. 08-25, DRAFT
MITIGATED NEGATIVE DECLARATION NO. 08-12
(WARDLOW RESIDENTIAL SUBDIVISION – 9191 PIONEER DRIVE)

REVISED
NARRATIVE
05/15/2012

WARDLOW SCHOOL SITE
(Wardlow Residential Subdivision)
General plan Amendment (No. 2008-004)
Zoning Map Amendment (No. 2008-004)
Environmental Assessment (No. 2008-012)
Tentative Tract Map (No. 17239)
Conditional Use Permit (No. 2008-025)

Location: 9191 Pioneer Drive (Former Wardlow School Site)

Project Description: To subdivide the 8.3 acre site to accommodate 49 lots for new single family homes. The proposed lots feature varying lot sizes with 4,250 sq. ft. minimum (50'x85'). The lots backing up to the adjacent single family tract is proposed at 93' in depth to allow for an increased building rear setback. A proposed list of lot sizes is attached to this submittal.

RECEIVED

MAY 15 2012

**Dept. of Planning
& Building**

All streets, landscaping, storm drains and sewers facilities will be privately maintained by the Homeowners Association. The streets will be sized consistent with City public street standards, including parkways and on-street public parking (36' curb to curb, with a 4' sidewalk and 6' parkway on each side).

All units will be designed and plotted to reflect the greatest sensitivity to surrounding developments. The units have been individually designed to create a more interesting streetscape. Each unit will be provided with a two car enclosed garage and two car driveway apron. All units will have a minimum yard area of 400 square feet.

All existing school buildings and site improvements are proposed to be demolished with the project.

The project is adjacent to the City's Wardlow Park. The project is proposing to dedicate an additional .83 acres of land and construct a new 80 space landscaped parking lot. Additional park improvements may be considered subject to further discussion and negotiations with the City.

Request:

Ex. - GENERAL PLAN: P (RL)
Public with an underlying designation of Residential Low Density
Request - GENERAL PLAN AMENDMENT to RL - Residential
Low Density (Remove the "P")
Ex. - ZONING: PS - Public-Semi Public
REQUEST - Zone Change to: RL Residential Low Density with a
PUD (Planned Unit Development) Standards Sec.210.12.
The PUD overlay will be necessary to address the unique mix of
public and private improvements and the variety of residential lot
sizes.

ATTACHMENT NO. 2.1

Surrounding Uses: North-Single Family Residential
East- County Flood Control Channel
South- Single Family Residential
West- City Neighborhood Park

Environmental Status: There are no significant environmental impacts associated with this project. The project site is not within a known hazardous waste and substance site.

The project will incorporate sustainable and green building practices to the maximum extent feasible. The proposed sustainable building practices will meet the California Green Building Code. A comprehensive Green Building Program has been developed for this project including:

- Building massing and orientation shall maximize south-facing vertical facades.
- Window orientation and opening size shall be partially determined by a desire to balance summer cooling and winter heating.
- Building and roof forms, shading devices and façade designs shall be oriented to direct airflow that facilitates natural building ventilation.
- Locally produced and recycled building materials shall be used whenever possible. Building materials shall be incorporated that obtain the maximum sustainability and achieve the best Green rating to the greatest extent feasible

Land Use

Compatibility:

The property is compatible with existing Single Family housing in the area. The proposed activity will not generate any unusual noise or traffic; or unusual demands on the City's infrastructure or public services. The proposed homes will be designed with greater rear yard setbacks and offset rear elevations to have a greater compatibility with adjacent residential. The roof designs and upper story window placement has also been proposed with consideration to the neighborhood. Overall the project has been designed for total compatibility with the neighborhood and the City's Design Guidelines for new single family developments

**Former Wardlow School Site
TRI Pointe Homes, LLC
Planned Unit Development Proposal
Community Benefits Summary
May 15, 2012**

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& Building

The residential neighborhood development proposal by TRI Pointe Homes, LLC ("TPH") for the Former Wardlow School Site property ("Project") has several added overall community benefits that it will provide the City of Huntington Beach ("City") that are significantly above and beyond those that would be provided by or could be required of a standard subdivision.

Private Streets and Utilities Will Not be Maintained by City Funds

- Streets within a standard subdivision are dedicated to the City as public streets. The City is responsible for the cost of maintaining those streets in perpetuity.
- As a public benefit of developing the Project as proposed, the streets within TPH's proposed Project for the Former Wardlow School will be private and maintained by a homeowners association. This will alleviate the City from having to maintain the streets and not have to be paid for out of the City's budget.
- Underground utilities consisting of stormdrain and sewer facilities within the Project will be private and maintained by a homeowners association and thus will not have to be maintained by the City and paid for out of the City's budget.
- Landscape maintenance in the parkways will be maintained by the homeowners association as well and not funded by the City.

Construct Certain Storm Drain Component of City Master Plan of Drainage

- A stormdrain shown on the City's Master Plan of Drainage running in Lotus Lane from Gettysburg Drive south to the existing stormdrain in Adams Avenue is planned for future construction by the City as a capital improvement project utilizing a significant amount of City funds.
- TPH proposes to construct the Master Plan of Drainage stormdrain as a major community benefit of developing the Project as proposed by making it a part of the Project.
- The stormdrain line is based upon the existing needs in the area based upon recent hydrology analysis.

- The stormdrain consisting of a 36 inch portion and a 42 inch portion of reinforced concrete pipe will run a length of approximately 605 linear feet beginning from the intersection of Lotus Lane and Gettysburg Drive southward to tie into the existing stormdrain in Adams Avenue.
- Using the City's typical cost estimation calculation, the construction of this stormdrain would cost the City approximately \$170,000 for design and installation. The Project would receive a credit for its drainage fees to build the stormdrain. The property's drainage fees are currently calculated to be \$13,880 per acre for 8.35 acres for a total of \$115,898. The net result will be to save the City over \$54,000 to have the Project construct this master plan stormdrain instead of the City building it as a capital improvement project.

Provide Parkland Dedication Beyond Quimby Act Dedication Requirements

- As a condition of new development the City requires either the dedication of land for park purposes or the payment of an in-lieu fee for the City to purchase park land elsewhere in the City. The land dedication amount a development project is responsible for providing is based upon a calculation outlined in the City's General Plan and Zoning Code of five acres of land per 1,000 residents.
- As a part of the calculation the City uses a density factor of 2.68 (which represents the number of people per household in residential dwelling units per census data that has been adopted by City Council resolution).
- The City's formula to determine the park land dedication acreage requirement ("A") consists of multiplying a density factor ("DF") by the number of dwelling units in the Project which is then multiplied by five acres and divided per 1,000 residents:
 - $A = (DF \times DU) \times 5.0 / 1000$
- Based upon both City calculations the Former Wardlow School development proposed is required to dedicate 0.66 acres of park land.
- As a major community benefit of developing the Project as proposed, TPH will dedicate a total of 0.83 of an acre of park land which will be incorporated into the adjacent Wardlow Park and its Huntington Valley Little League baseball facilities.
- The development at the Former Wardlow School site will provide additional park land dedication beyond the calculated amount of area the City would require to fulfill the Quimby Act.
- This additional park land acreage dedication by the Project represents an increase of 27% over the City's Quimby Act calculation to determine a Project's park land dedication requirement.

- (See the attached spreadsheet which further illustrates these calculations.)

Construct a Permanent Parking Lot for Wardlow Park/HVLL Baseball Facilities

- Due to the intensity of use of the HVLL ball fields at Wardlow Park, there is a deficiency of permanent parking facilities on the City's park property.
- Users and visitors of the ball fields have been parking on the Former Wardlow School property. Up until now, the property owner, the Fountain Valley School District, has not denied access for vehicles to park on its property yet and has allowed this as only a temporary accommodation. The school district has the ability to terminate any vehicular access to its Former Wardlow School property at anytime.
- The City had a one year license agreement it entered into with the Fountain Valley School District on July 3, 2006 wherein the City acknowledges that the City is responsible for providing parking for the Wardlow Park ball field facilities and that the school district is the owner with the sole and full authority and right to allow or deny access to its property. The license agreement expired after the one year and was never extended or amended.
- As a major community benefit of developing the Former Wardlow School property as proposed, TPH will build a parking lot adjacent to the easterly edge of the adjacent Wardlow Park's Little League baseball facilities on the land that the Project will be dedicating to the City as park land under its Quimby Act park land dedication requirement plus the additional park land proposed to be dedicated in excess of the Project's park land dedication requirement (as specified above).
- The dedication of the park land will be done subsequent to and upon completion of the parking lot improvements.
- The parking lot will be constructed in conformance with the general design specifications provided in the submittal package to the City.
- The parking lot will include up to approximately 80 parking spaces and will feature a landscape buffer between the parking lot and the homes in the Project as well as an emergency secondary ingress/egress access gate on the north side of the parking lot.
- The parking lot's design configuration is meant to maximize its proximity to and provide convenient access to the easterly Little League ball fields.

Additional Improvements in Conjunction with the Wardlow Park/HVLL Parking Lot

- One of the additional public facilities improvements that will be incorporated and built within the improved and dedicated Wardlow Park/HVLL ball field's parking lot will be a stormdrain underneath the parking lot that will serve to alleviate an ongoing problem of cross lot drainage and flooding at the northeast corner of Wardlow Park.
- This storm drain will run the length of the parking lot and tie into the stormdrain the Project will build in Pioneer Drive which in turn will connect into the stormdrain the Project will build in Lotus Lane.

Improvements within Wardlow Park

- As further additional community benefits of developing the Former Wardlow School property as proposed, TPH will perform the following improvements to the Wardlow Park property to the extent the City will allow.
- The Project will construct a snack bar/equipment room/public restroom facility on the Wardlow Park grounds in a location to be determined in working with City staff.
- The Project will entertain installing a detention facility or depression and construct a drain inlet in the northeast corner area of the park to specifications to be determined by the City to alleviate the current problem of cross lot drainage and flooding. This will be determined pending the outcome of City staff review of the future stormwater flow in the northeast area of Wardlow Park in conjunction with the Project's site improvements and the stormdrain facility that will be built in the newly proposed parking lot as specified above.
- An overhead light fixture is also proposed to be installed by the Project to provide illumination to provide an additional security feature and improve visibility and in the northeast corner area of Wardlow Park.
- The powerlines that run along the north side of Pioneer Drive along the southerly edge of the HVLL ball fields from Magnolia Street to the Former Wardlow School buildings are be proposed to be removed as a part of the Project and placed underground to a terminus in an above ground vault on the City's Wardlow Park property.
- The streetlights currently located on the south side of Pioneer Drive and are serviced by an overhead electrical line are proposed to be relocated to the north side of Pioneer Drive. This should give a higher level of public safety by providing additional illumination along the park edge and Pioneer Drive. The overhead electrical service would be placed underground.

- The chain link fence that runs the length of the south edge of the ball fields on the north side of Pioneer Drive is proposed to be replaced with a new fence.

Green Building Program

- The City of Huntington Beach requires that all new homes built meet all mandatory measures of the State of California Housing and Community Development's 2010 California Green Building Code. Not only will all homes in the Project satisfy all the mandatory measures, as a major part of providing additional community benefits, the homes will also have many additional green features and measures included.
- A comprehensive "Draft Green Building Program - Former Lamb & Wardlow School Sites" is being submitted with the Project's full tract submittal package. It outlines which specific State, City, local and building industry green building programs the Project contemplated, reviewed and from which specific green building components, methods and practices were selected for implementation, verification and certification. Some of these are highlighted in the following.
- Energy Efficiency PLUS 30%: The homes in the Project will be designed and built to achieve higher energy efficiency than required by the City and State. At minimum the homes will achieve energy efficiency 30% greater than the current 2008 California Energy Commission Title 24 code standards.
- Renewable Energy – Solar PV Standard: The Project will be committed to provide solar electric photovoltaic (PV) systems as a standard feature.
- Green Point Rated Homes: The Project will utilize the GreenPoint Rated program operated by Build It Green for independent third party green home certifications.
- Certain direction and features from the "Steps Toward a Sustainable Huntington Beach" and the Surfrider Foundation's "Ocean Friendly Gardens" have been considered and incorporated into the Project's green building program.
- Alternative Transportation: The Project will provide homes that are "EV Ready" with 120V/240V electrical plugs designed and built into every garage.
- Water efficiency will be designed and built to conserve water indoors and outdoors.
- Naturalized landscaping and a weather based irrigation system will be featured in the homeowners association maintained areas to minimize irrigation water consumption.

- The Project will implement an Enhanced Construction Waste Management Program that will exceed recycling 65% of its construction waste to achieve CALGreen Tier 1 standards in this area.

Planned Unit Development (PUD)

- The use of a PUD designation and developing a Project as a Planned Unit Development initially may not be seen as a community benefit. However, utilizing this type of subdivision when examined more closely does in fact have significant community benefits when compared to a standard subdivision in a true infill location surrounded substantially by existing residential uses.
- The greatest community benefit with doing a PUD is to provide certainty to the development of the Project as proposed and presented by the developer and approved by the City. This includes not only site planning and engineering design, but architecture and landscape architecture.
- A standard subdivision may be approved showing conceptual building architecture and landscape architecture but once it is approved there is no guarantee that the product represented during the entitlement and public review process is the product that will be what is actually built. In most cases, another architectural product can be substituted for what was originally presented when the subdivision was approved as long as the new architecture meets the minimum standards of the City's RL zone and the City's general design guidelines. The process for changing the architectural product for a standard subdivision is neither not nearly as rigorous nor as transparent and subject to public review as it is for a PUD.
- A PUD on the other hand is subject to a great deal of scrutiny from its onset through its completion of construction. Not only is the engineered technical site plan, tract map and grading plan thoroughly vetted during the City approval process, but so too is the proposed building architecture and landscape architecture. Once the Project is approved all the design plans and elements represented are specifically conditions and tied to the implementation plan of the site. To propose a substantial change in building architecture, for example, could require the same level of design scrutiny and public review and hearing process.
- For an infill site where surrounding property owners and residents are essentially promised what will be built next to them for all intents and purposes.
- Beyond a tract map approval, the Former Wardlow School site's PUD's building architecture is clearly defined and conditioned in terms of styles, articulation along building planes, setbacks to first and second floors, window placement, perimeter edge treatments, etc.

- The Project's PUD also has the advantage of being a privately maintained community as noted above and because of that can be designed more creatively from an engineering standpoint since a homeowners association and not the City will be responsible for funding the ongoing maintenance of certain improvements, facilities and landscaping.
- One of the main aspects of the Former Wardlow School property's PUD with its streets and certain utilities privately maintained by a homeowners association is that it specifically enabled the civil engineering team to utilize more creative solutions to aid in reducing pad elevations along perimeter lots adjacent to the existing residential neighborhood.
- The Project's building pad elevations were able to be lowered so that the differential to the adjacent existing residential neighborhoods range were minimized to a range from a minimum of four inches (- 4") below the existing adjacent residential neighborhood pads to a maximum of 18 inches above the existing adjacent residential neighborhood pads.
- To underscore the level of focus and attention that TPH's design team has place on the pad differentials between the Project and the existing adjacent neighboring lots, the Project's lots will achieve having a median differential of only four inches (4") and an average differential of only five (5") inches higher than the adjacent existing neighboring lots.
- A standard subdivision would have to adhere to a different set of engineering requirements. Those would require lots to be drained individually out to the street rather than being able to combine the drainage of a group of lots into a single drain pipe that would run through common area and then connect directly to the stormdrain underneath the private streets.
- (See the attached spreadsheet which further illustrates the Project's individual pad elevation differentials to existing adjacent neighbor pad elevations.)

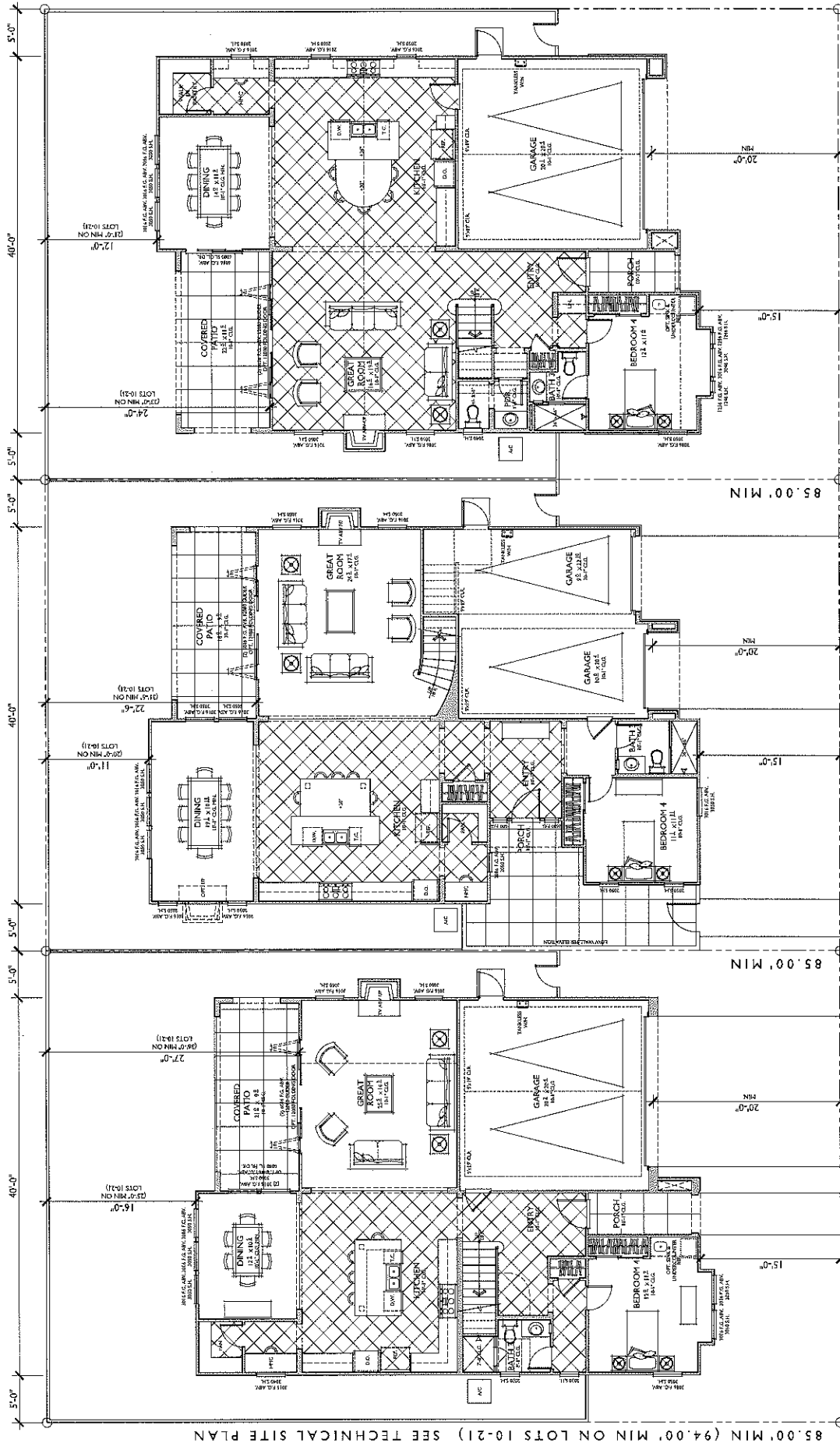
Public Parking on Private Streets

- Due to the location of the Former Wardlow School property in relation to Wardlow Park and the HVLL baseball facilities, parking has been a constant issue for the surrounding neighborhoods. One of the concerns of the neighboring community expressed several times was that if the Project was a private community with a homeowners association the streets within will only be available for the Project's residents and that the Project, even with its close proximity to the ball fields, will not have to share in the same parking impacts as the existing neighbors.

- Although the Former Wardlow School site development is proposed as a PUD with private streets, governed by CC&Rs and a homeowners association board of directors, language can be placed in the CC&Rs specifically allowing and guaranteeing the ongoing ability of the general public to park on and use the private streets within the Project.
- A statement in the CC&Rs to the effect of something like the following will ensure this: "notwithstanding anything in this declaration to the contrary, the private streets in the community shall remain open to public use, including parking, pursuant to the conditions of approval for the community. No amendment or other modification of this requirement shall be made by declarant or the association without the prior written consent of the City of Huntington Beach."

Affordable Housing

- The City requires that a new residential housing developments provide 10% of the homes built be deemed "affordable" under the requirements outlined in the City's Zoning Code.
- The community benefit that the Project provides in the way of affordable housing is an addition of approximately one more homes that will be provided to a family in need and who otherwise could not afford a home over that which a standard subdivision on the Former Lamb School Property could provide.



PLAN A
2,861 S.F.
TARGET: 2,800 S.F.
1ST FLR: 1,351 S.F.
2ND FLR: 1,510 S.F.
GARAGE: 427 S.F.
PORCH: 31 S.F.
COVERED PATIO: 185 S.F.

PLAN B
3,010 S.F.
TARGET: 3,050 S.F.
1ST FLR: 1,456 S.F.
2ND FLR: 1,554 S.F.
GARAGE: 462 S.F.
PORCH: 22 S.F.
COVERED PATIO: 183 S.F.

PLAN C
3,313 S.F.
TARGET: 3,200 S.F.
1ST FLR: 1,509 S.F.
2ND FLR: 1,804 S.F.
GARAGE: 425 S.F.
PORCH: 55 S.F.
COVERED PATIO: 193 S.F.

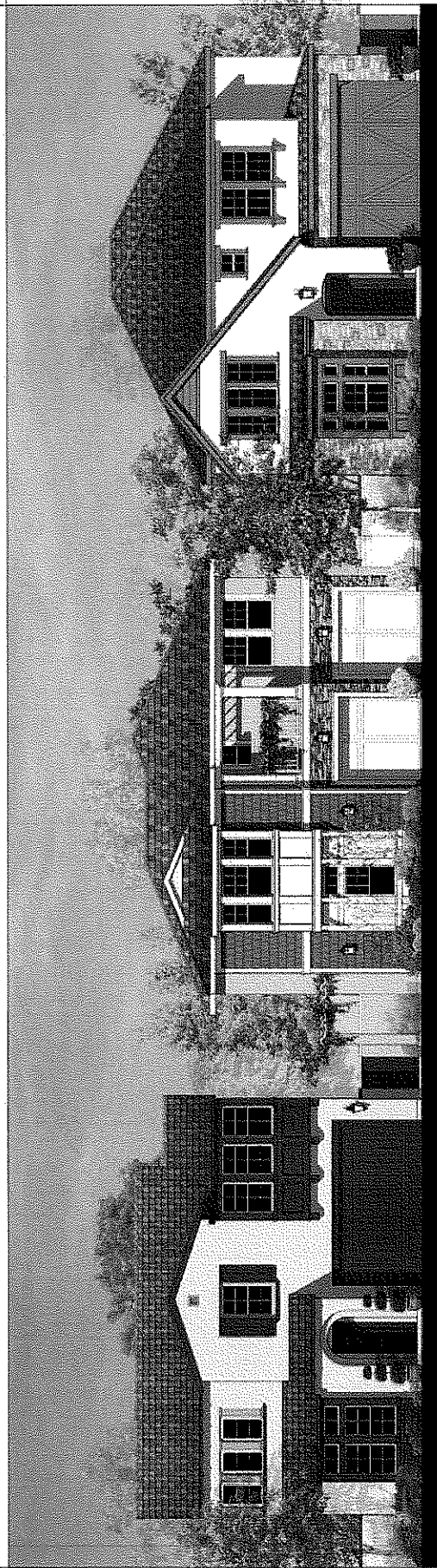
SCALE 1/4" = 1'-0"

Bassenian | Lagoni
ARCHITECTURE - PLANNING - INTERIORS
667.12017
LAGONI@BASSENIANLAGONI.COM

FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA

A.I
Pointe
11300 WARDLOW AVE
HUNTINGTON BEACH, CA 92646
PH: 949.334.0000

07.09.12



PLAN 1A
SANTA BARBARA

PLAN 2B
COASTAL CALIFORNIA

PLAN 3C
CALIFORNIA COTTAGE

STREET SCENE I

SCALE 1/8" = 1'-0"

05.15.12

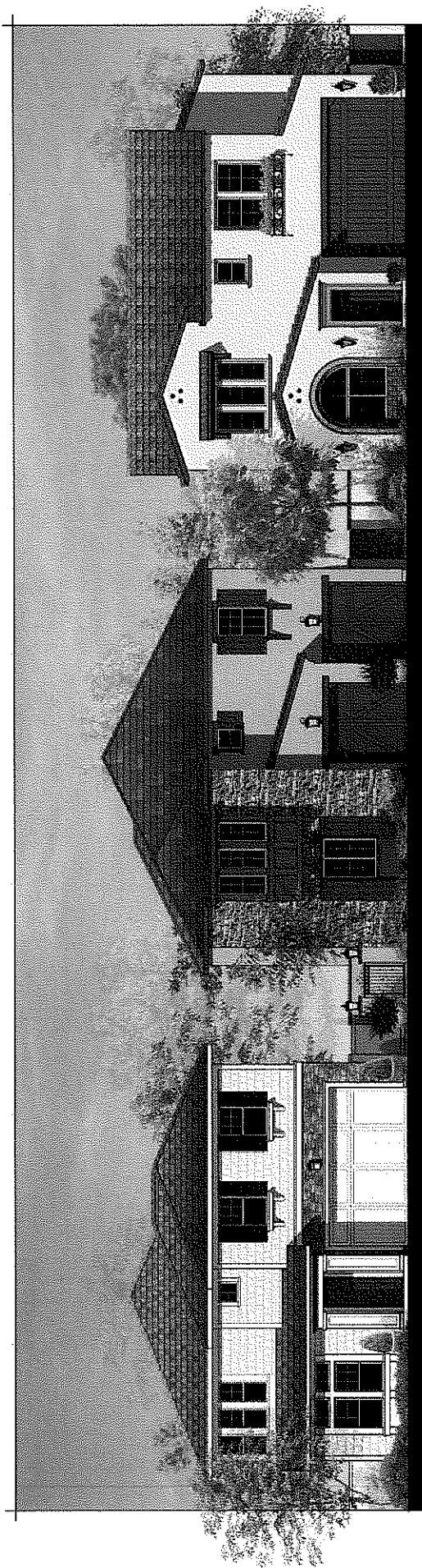
ATTACHMENT NO. 3

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667.112017

FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA

A.3

Pointe
THINKS, IT'S
BUILT
AND SAVED TO
BURN OR NOT
FOR HELLING



PLAN 1B
COASTAL CALIFORNIA

PLAN 2C
CALIFORNIA COTTAGE

PLAN 3A
SANTA BARBARA



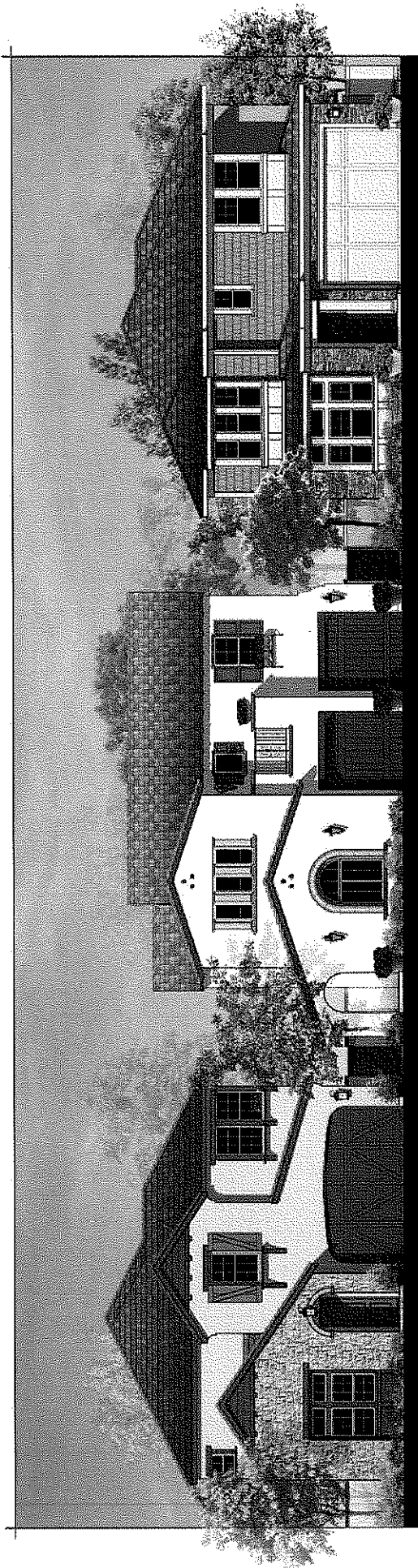
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FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA

A.4 **TPI Pointe**
HUNTINGTON BEACH, CALIFORNIA

STREET SCENE 2

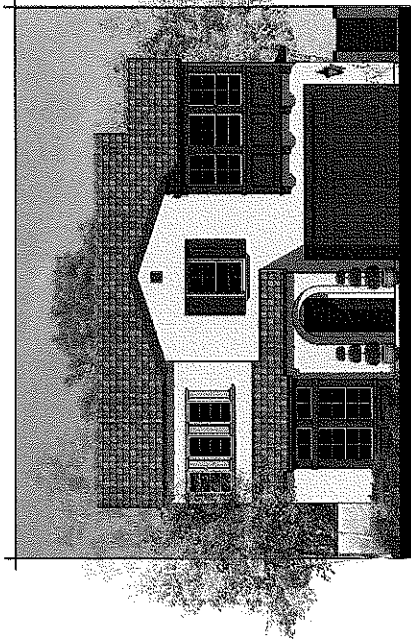


PLAN 1C
CALIFORNIA COTTAGE

PLAN 2A
SANTA BARBARA

PLAN 3B
COASTAL CALIFORNIA

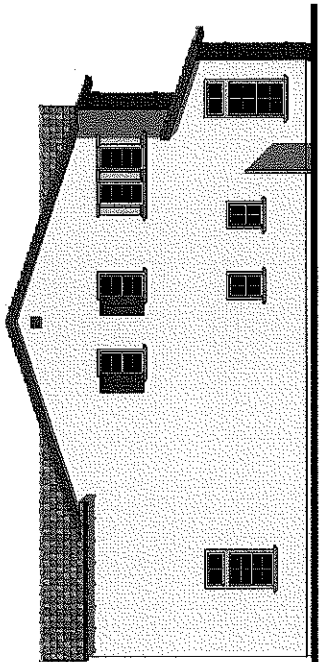




FRONT

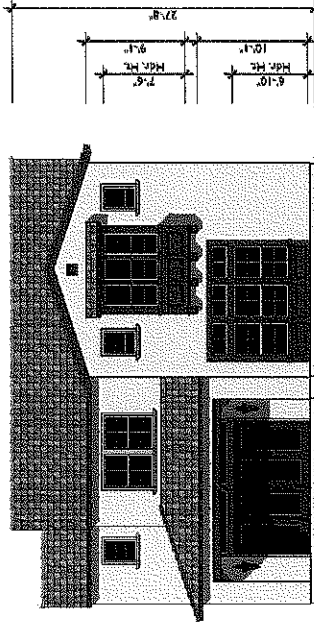
MATERIALS LEGEND

- SMOOTH STUCCO FINISH
- STUCCO DETAILS
- 4X6 SHAPED RAFTER TAILS
- WOOD BOX BAYS
- WOOD SHUTTERS
- CONCRETE'S TILE ROOF

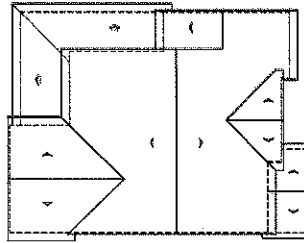
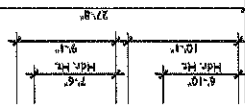


LEFT

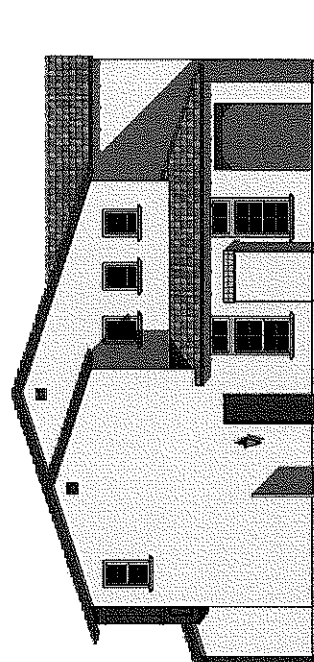
APPROXIMATE FENCE LOCATION



REAR



ROOF PLAN
NOTES: 4:12 PITCH
MADE UP OF
WOOD SHUTTERS & TILES



RIGHT

APPROXIMATE FENCE LOCATION

**ELEVATIONS
PLAN I A
SANTA BARBARA**

05.15.12

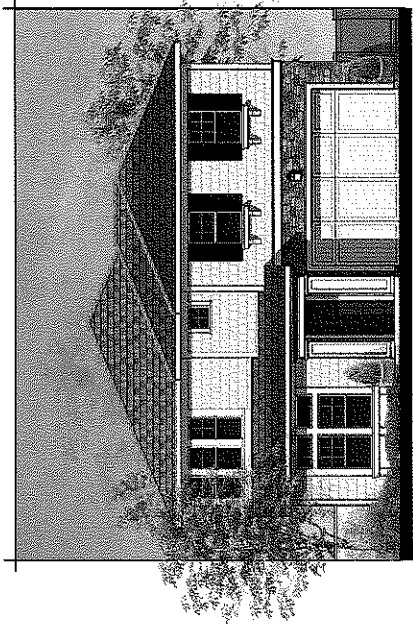


A.6

**FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA**



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FRONT

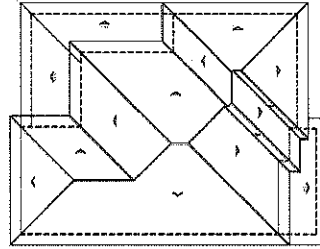
MATERIALS LEGEND

- SMOOTH STUCCO FINISH
- CEMENTITIOUS SHINGLE SIDING
- STONE VENEER
- WOOD SHUTTERS
- WOOD BOX RAY
- FLAT CONCRETE TILE ROOF

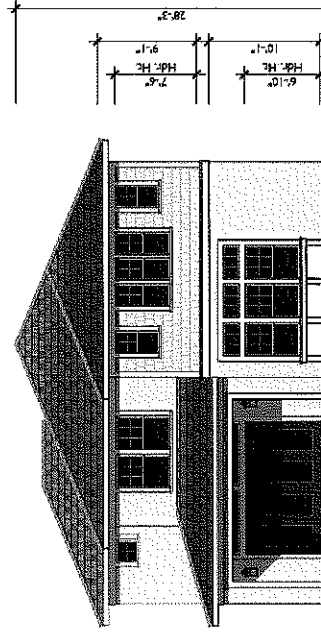


LEFT

APPROPRIATE FENCE LOCATION



ROOF PLAN
PITCH: 12/12
EAVE: 12"
ROOF MATERIAL: FLAT CONCRETE TILE



REAR

**ELEVATIONS
PLAN I B
COASTAL CALIFORNIA**

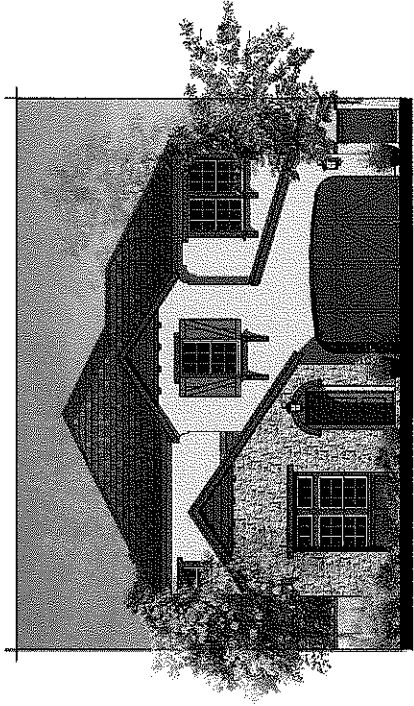
02.15.12

A.7 **TRI Pointe**
ARCHITECTURE
1000 N. GATEWAY BLVD.
SUITE 100
FREMONT, CA 94559
PH: 415.771.1000

FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA

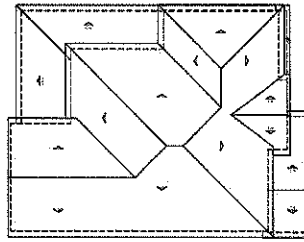


Bassenian | Lagoni
ARCHITECTS - PLANNING - INTERIORS
647.120.17

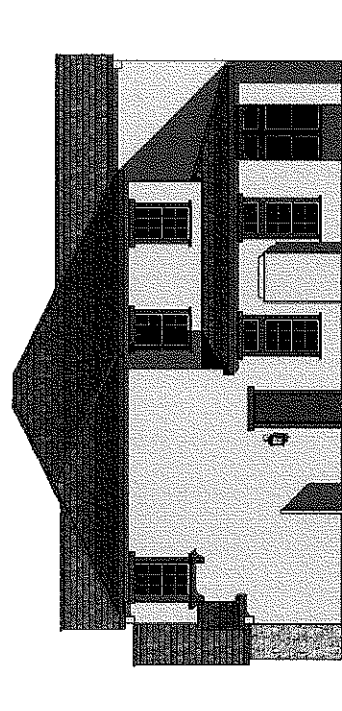


FRONT

MATERIALS LEGEND
 SMOOTH STUCCO FINISH
 STONE VENER
 SHUTTERS
 DECORATIVE POT SHELF
 FLAT CONCRETE TILE ROOF

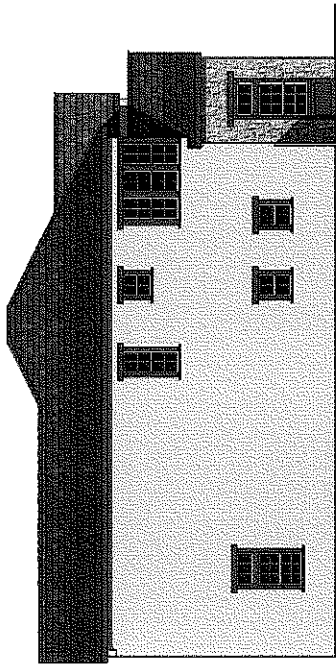


ROOF PLAN
 1/4" = 1'-0"
 ROOF MATERIAL: FLAT CONCRETE TILE



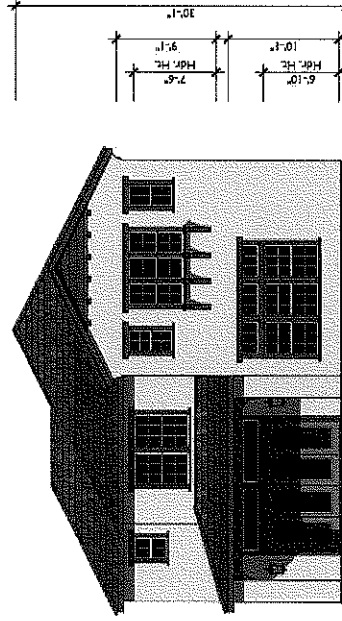
RIGHT

APPROXIMATE FENCE LOCATION



LEFT

APPROXIMATE FENCE LOCATION



REAR

ELEVATIONS PLANIC CALIFORNIA COTTAGE

05.15.12

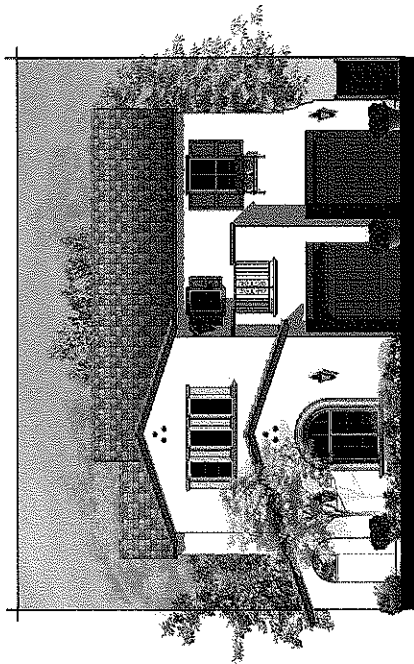


A.8

FORMER WARDLOW SCHOOL SITE
 HUNTINGTON BEACH, CALIFORNIA

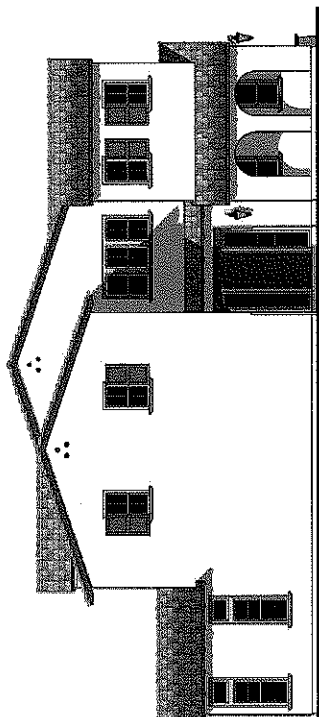


Bassonian | Lagoni
 ARCHITECTURE • PLANNING • INTERIORS
 657.526.17



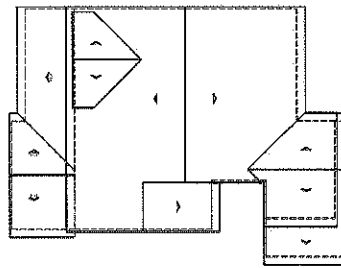
FRONT

MATERIALS LEGEND
 SMOOTH STUCCO FINISH
 SURROUND AT ACCENT WINDOW
 4X6 SHAPED RAFTER TAILS
 WROUGHT IRON RAILING & POT SHELF
 ACCENT SHUTTERS
 CONCRETE S TILE ROOF

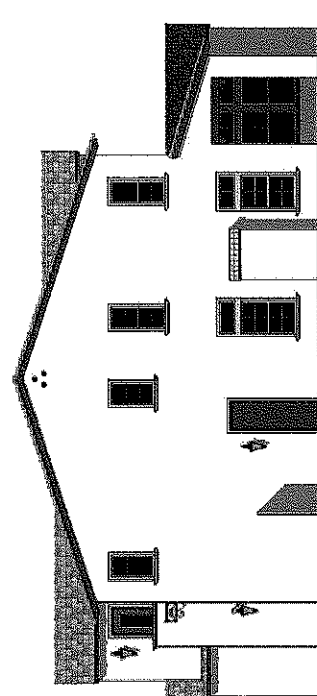


APPROXIMATE FENCE LOCATION

LEFT

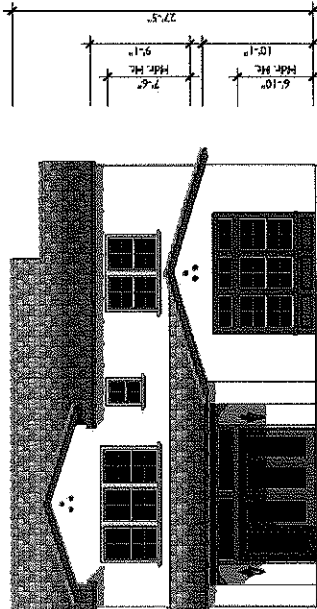


ROOF PLAN
 PITCH 12/12
 1/2" = 1'-0"
 ROOF MATERIAL: CONCRETE S TILE



APPROXIMATE FENCE LOCATION

RIGHT



REAR

ELEVATIONS PLAN 2A SANTA BARBARA

0.5, 1.5, 1.2

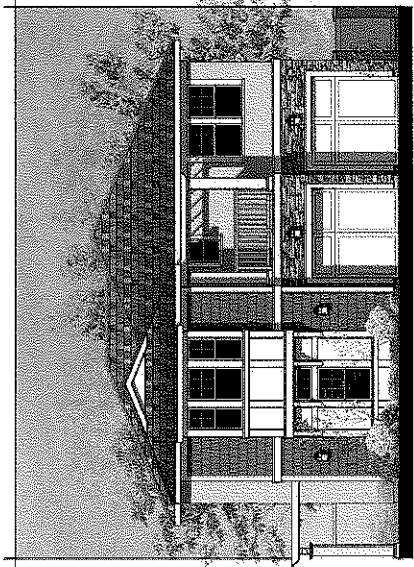


A.9

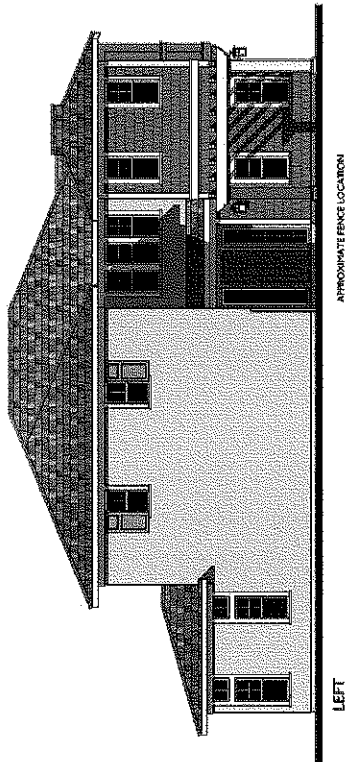
FORMER WARDLOW SCHOOL SITE
 HUNTINGTON BEACH, CALIFORNIA



Bassenian | Lagoni
 ARCHITECTURE • PLANNING • INTERIORS
 567.12617

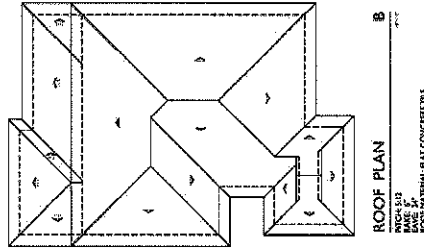


MATERIALS LEGEND
 SPICED STUCCO FINISH
 CEMENTIOUS SHINGLE SIDING
 WOOD TRIM AT SIDING AND STONE
 WOOD BOX BAY
 FLAT CONCRETE TILE ROOF



APPROXIMATE FENCE LOCATION

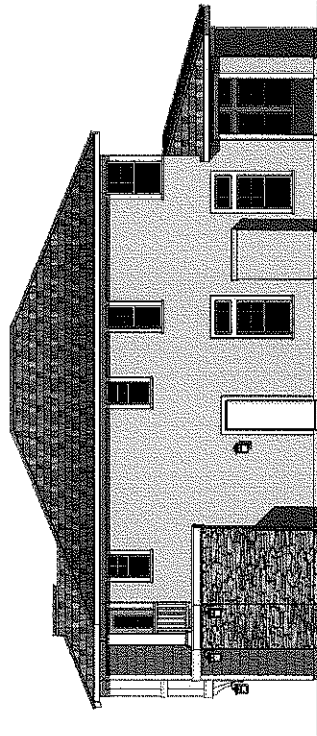
LEFT



ROOF PLAN
 SCALE: 1/4" = 1'-0"
 BASE: 1'-0"
 ROOF MATERIAL: FLAT CONCRETE TILE



REAR



APPROXIMATE FENCE LOCATION

RIGHT

ELEVATIONS PLAN 2B COASTAL CALIFORNIA

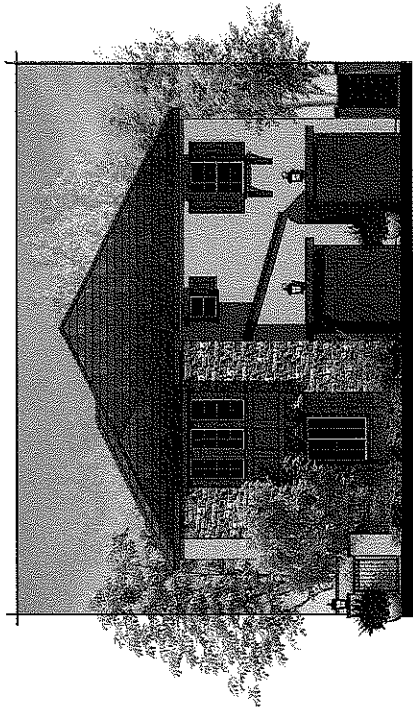
05.15.12

A.10 **TRI Pointe**
 REAL ESTATE
 10000 W. 100th Ave.
 Suite 100
 Greenwood Village, CO 80111

FORMER WARDLOW SCHOOL SITE
 HUNTINGTON BEACH, CALIFORNIA

SCALE: 1/4" = 1'-0"

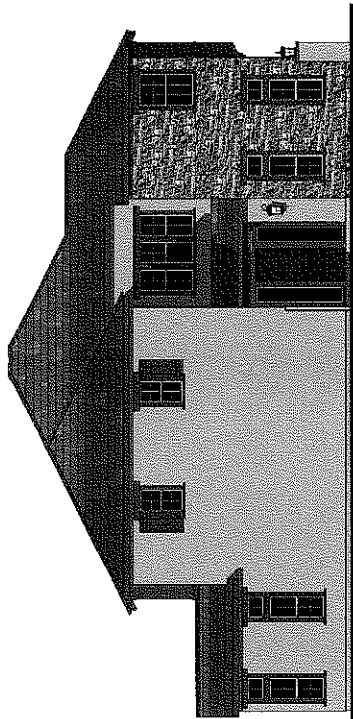
Bassenian | Lagoni
 ARCHITECTURE • PLANNING • INTERIORS
 667.12617



FRONT

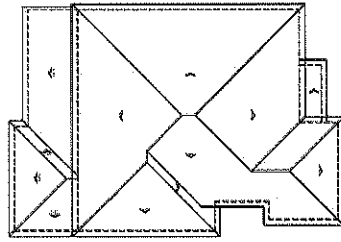
MATERIALS LEGEND

- SMOOTH STUCCO FINISH
- STONE VENEER
- WOOD BOXY BAY
- ACCENT STONE
- CONCRETE TILES
- FLAT CONCRETE TILE ROOF



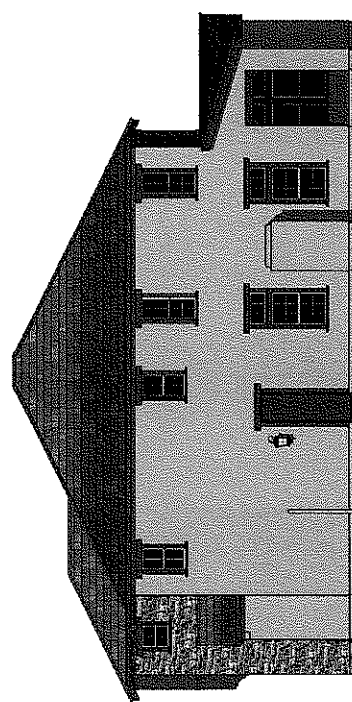
APPROXIMATE FENCE LOCATION

LEFT



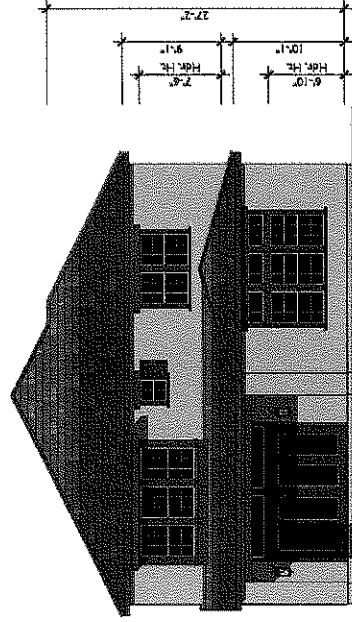
ROOF PLAN

STITCH LAYOUT
SCALE: 1/8" = 1'-0"



APPROXIMATE FENCE LOCATION

RIGHT



REAR

**ELEVATIONS
PLAN 2C
CALIFORNIA COTTAGE**

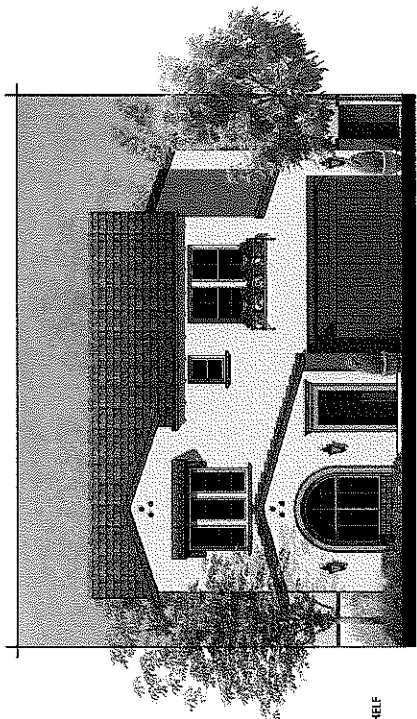
05.15.12

A.I.I. TRI Pointe
HUNTINGTON BEACH, CALIFORNIA

**FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA**

SCALE: 1/8" = 1'-0"

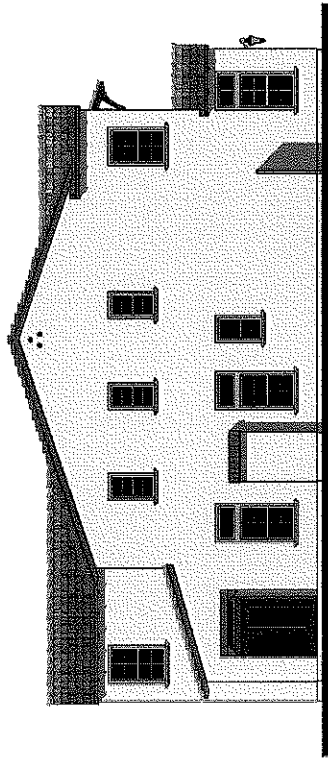
Bassenian | Lagoni
ARCHITECTURE - PLANNING - INTERIORS
667.110.17



FRONT

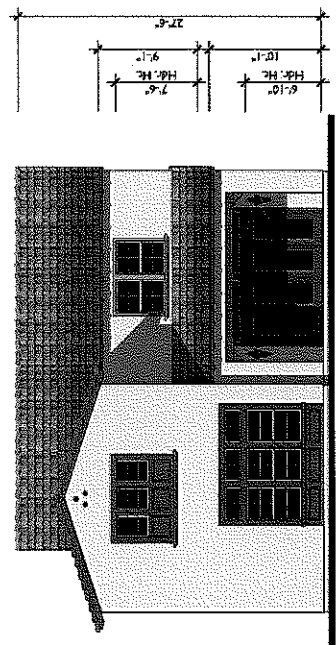
MATERIALS LEGEND

- SMOOTH STUCCO FINISH
- SURROUND AT ACCENT WINDOW
- EXPOSED RAFTER TAILS
- WROUGHT IRON RAILING & POT SHELF
- ACCENT SHUTTERS
- CONCRETE S TILE ROOF

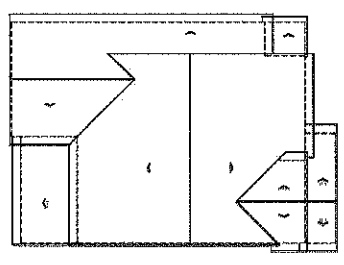


LEFT

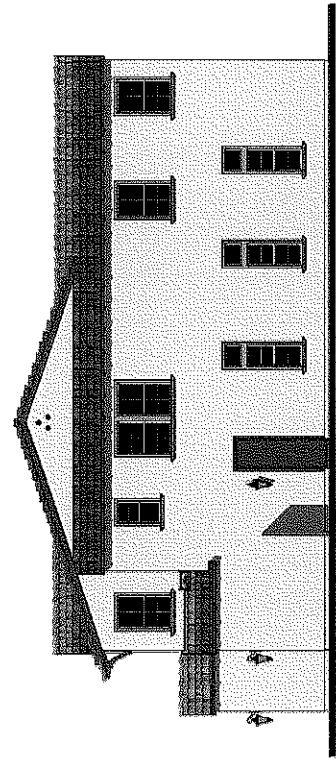
APPROXIMATE FENCE LOCATION



REAR



ROOF PLAN
PITCH 12/12 UNITS
BASE: 1/4" = 1'-0"
ROOF MATERIAL: CONCRETE S TILE



RIGHT

APPROXIMATE FENCE LOCATION

ELEVATIONS
PLAN 3A
SANTA BARBARA

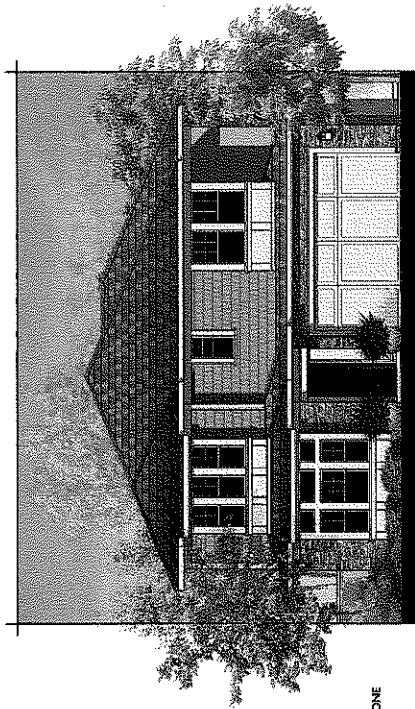
02.15.12

A.12 **IRI Pointe**
ARCHITECTS
10000 W. 10TH AVE.
SUITE 100
DENVER, CO 80231
303.755.1100

FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA

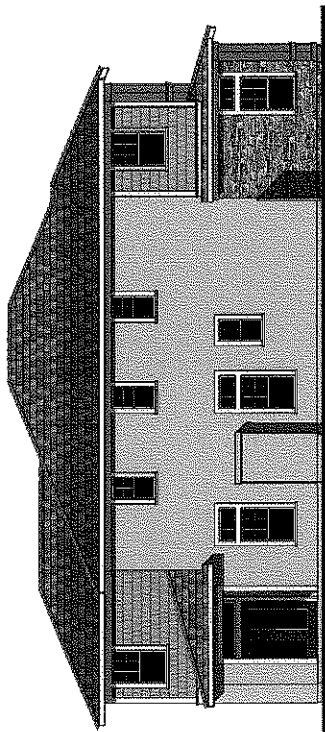
SCALE: 1/4" = 1'-0"

Bassenian | Lagoni
ARCHITECTS - PLANNING - INTERIORS
657.12017



FRONT

MATERIALS LEGEND
 SMOOTH STUCCO FINISH
 CEMENTITIOUS SHINGLE SIDING
 STONE VENEER
 WOOD TRIM AT SIDING AND STONE
 WOOD BOX BAY
 FLAT CONCRETE TILE ROOF

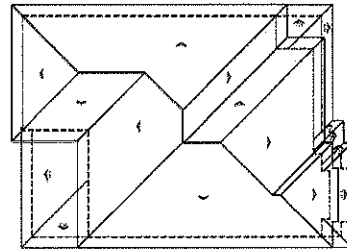


LEFT

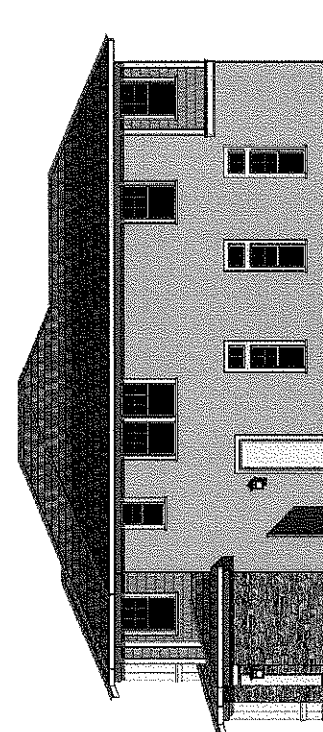
APPROPRIATE FENCE LOCATION



REAR



ROOF PLAN
 WITH SILLING
 3/4" x 6" x 10"
 ROOF PATTERN FLAT CONCRETE TILE



RIGHT

APPROPRIATE FENCE LOCATION

ELEVATIONS
PLAN 3 B
 COASTAL CALIFORNIA

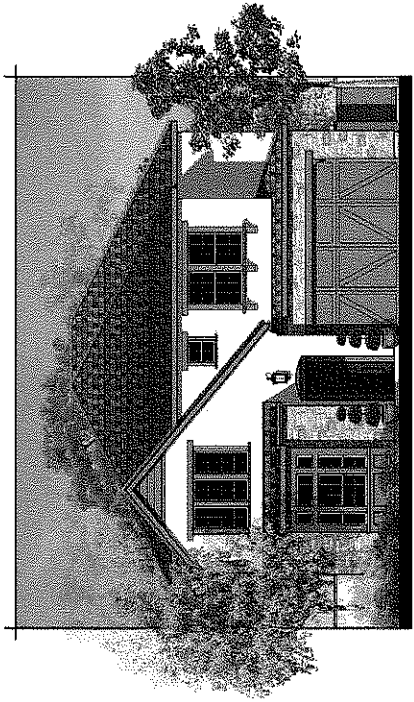
9.1.15.12

A.13 **IRI Pointe**
 ARCHITECTURE

FORMER WARDLOW SCHOOL SITE
 HUNTINGTON BEACH, CALIFORNIA

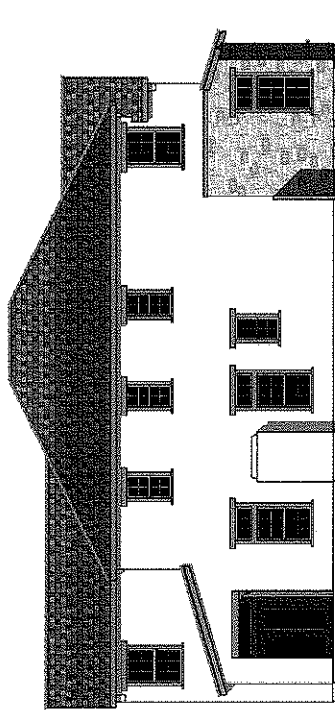
SCALE 1/8" = 1'-0"

Bassenian | Lagani
 ARCHITECTURE • PLUMBING • INTERIORS
 667.120.17



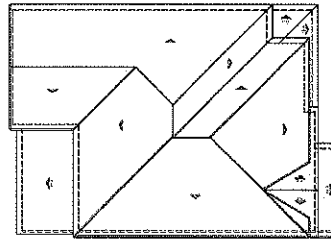
FRONT

MATERIALS LEGEND
 SHOOT: STUCCO FINISH
 STONE VENEER
 WOOD BOX BAY
 DECORATIVE WOOD POT SHELF
 FLAT CONCRETE TILE ROOF

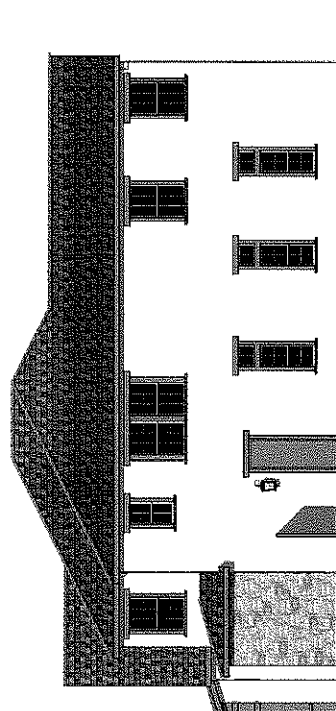


LEFT

APPROXIMATE FENCE LOCATION

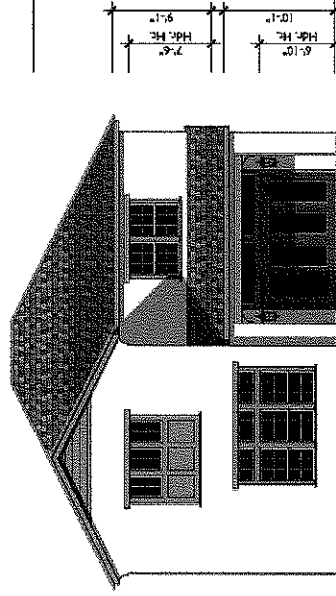


ROOF PLAN
 1/8" = 1'-0"
 ROOF MATERIAL: FLAT CONCRETE TILE

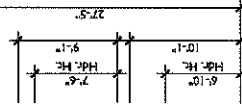


RIGHT

APPROXIMATE FENCE LOCATION



REAR



ELEVATIONS
PLAN 3C
 CALIFORNIA COTTAGE

05.15.12

Bassenian | Lagoni
 ARCHITECTURE • PLANNING • INTERIORS
 667.13017

FORMER WARDLOW SCHOOL SITE
 HUNTINGTON BEACH, CALIFORNIA

A.14 **TRI Pointe**
 HUNTINGTON BEACH, CA
 05.15.12



CONCEPTUAL LANDSCAPE PLAN

07.09.12



L.I

FORMER WARDLOW SCHOOL SITE HUNTINGTON BEACH, CALIFORNIA

NOTE
This plan is for informational purposes only. It is not to be used for construction without the approval of the local planning department.



Scale: 1" = 30'



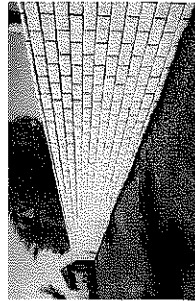
2012.003



PRECISION BLOCK WALL WITH PRECISION BLOCK CAP



SLUMP BLOCK PLASTER



SLUMP BLOCK WALL WITH SLUMP BLOCK CAP



SLUMP BLOCK WALL

NEIGHBORHOOD WALL ELEVATIONS

07.09.12



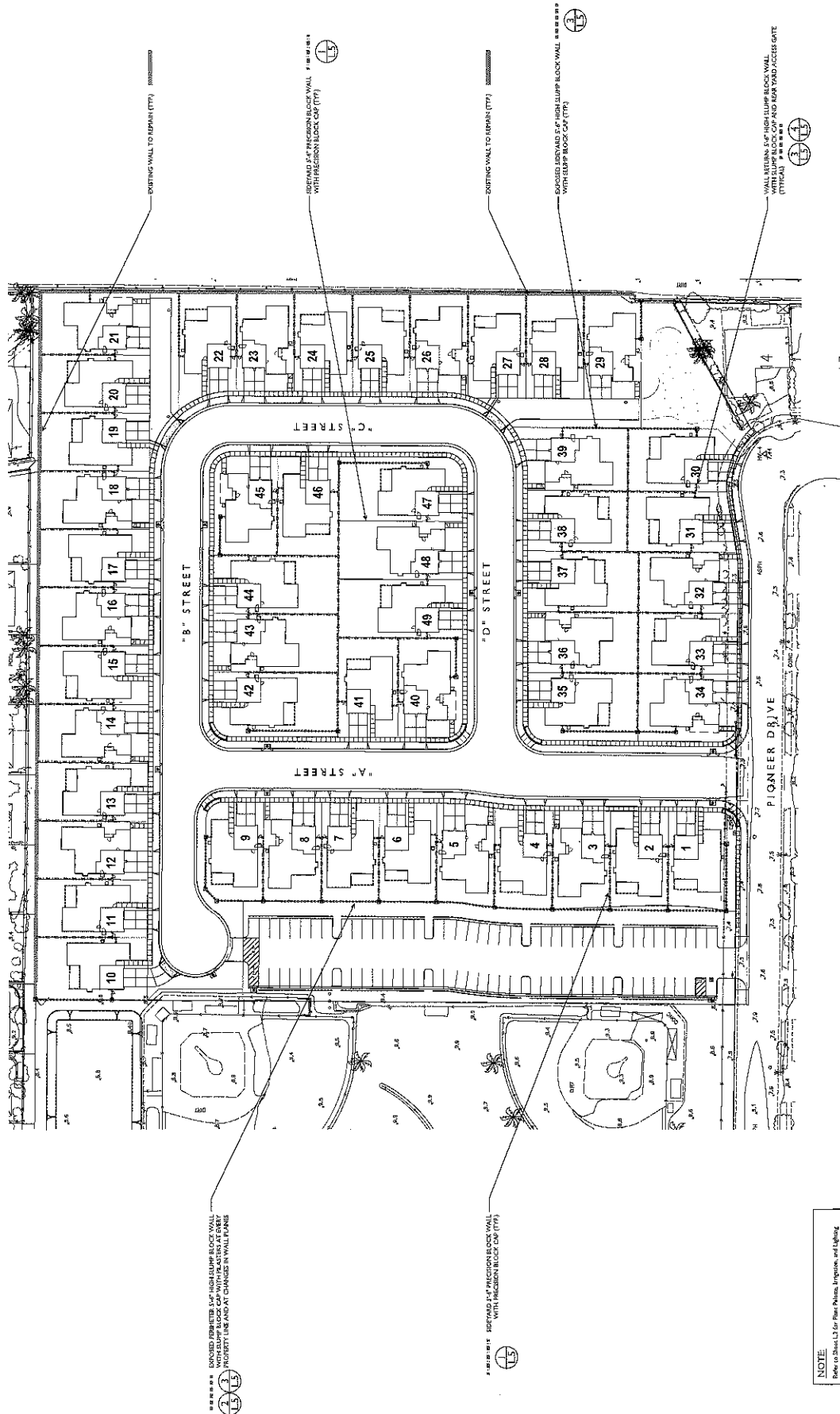
L3

FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA



2019.003

ATTACHMENT NO. 3.13



CONCEPTUAL WALL AND FENCE PLAN

07.09.12



L4

FORMER WARDLOW SCHOOL SITE HUNTINGTON BEACH, CALIFORNIA



2019.003

PROJECT LOCATION: 1000 W. 10TH STREET, HUNTINGTON BEACH, CA 92648

NOTE
Refer to sheets L1, L2, L3 for Site Plan, Topography, and Lighting
Refer to sheet L4 for Wall and Fence Plan.



1" = 30'-0"

NOTE
Refer to Sheet L2 for Plans, Details, and Lighting
Notes Refer to Sheet L3 for VMI (Exterior).

FORM

2019.003

FORM

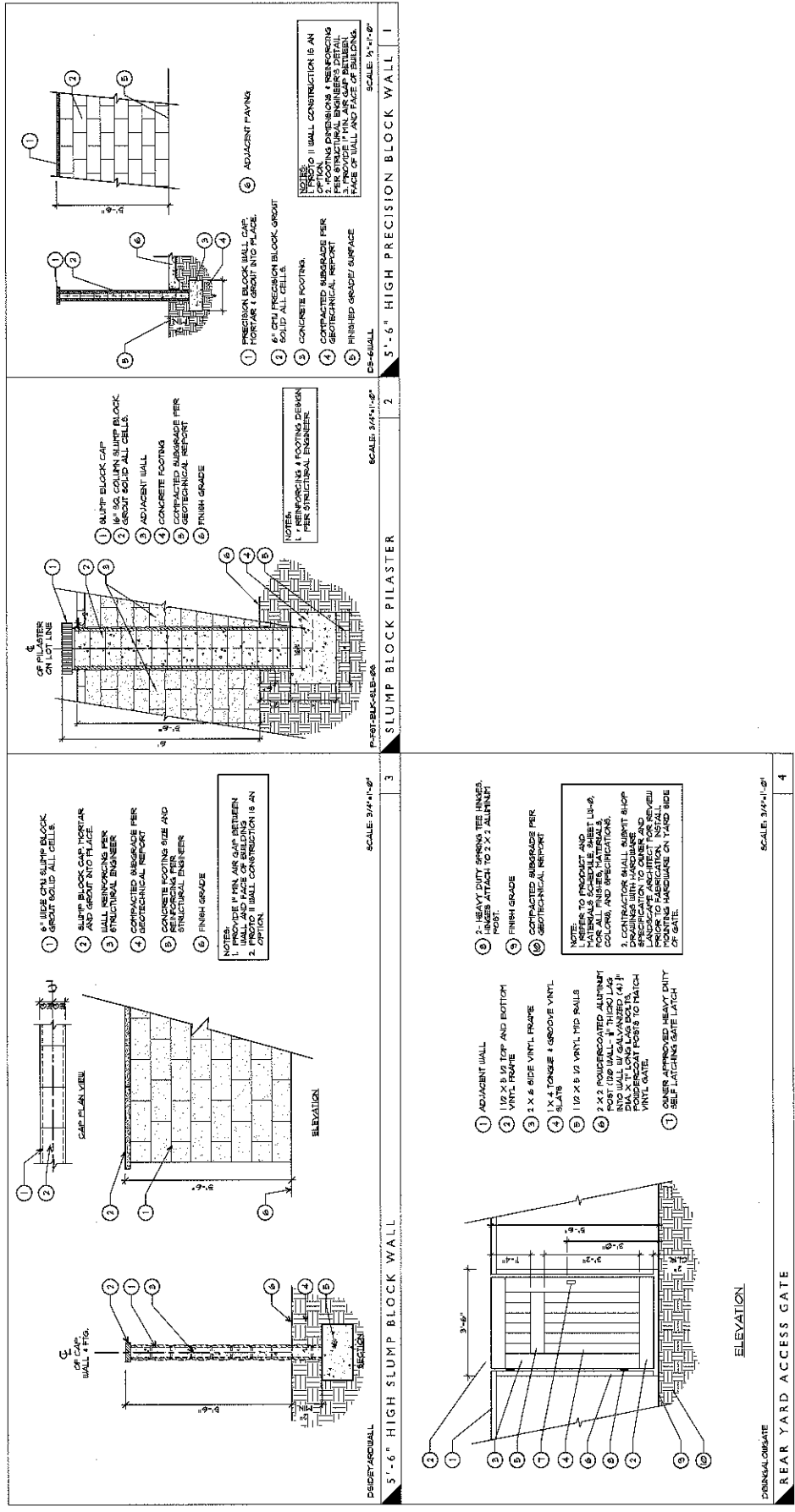
FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA

L5

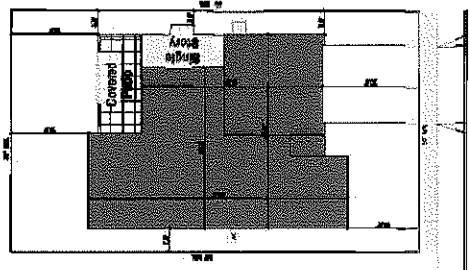
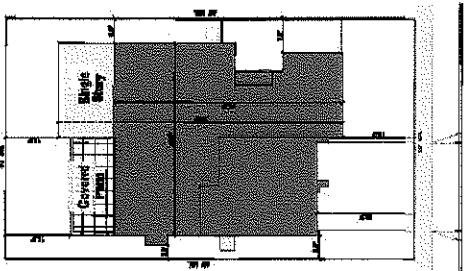


07.09.13

WALL AND FENCE DETAILS
CONCEPTUAL



TYPICAL MINIMUM LOT SETBACKS

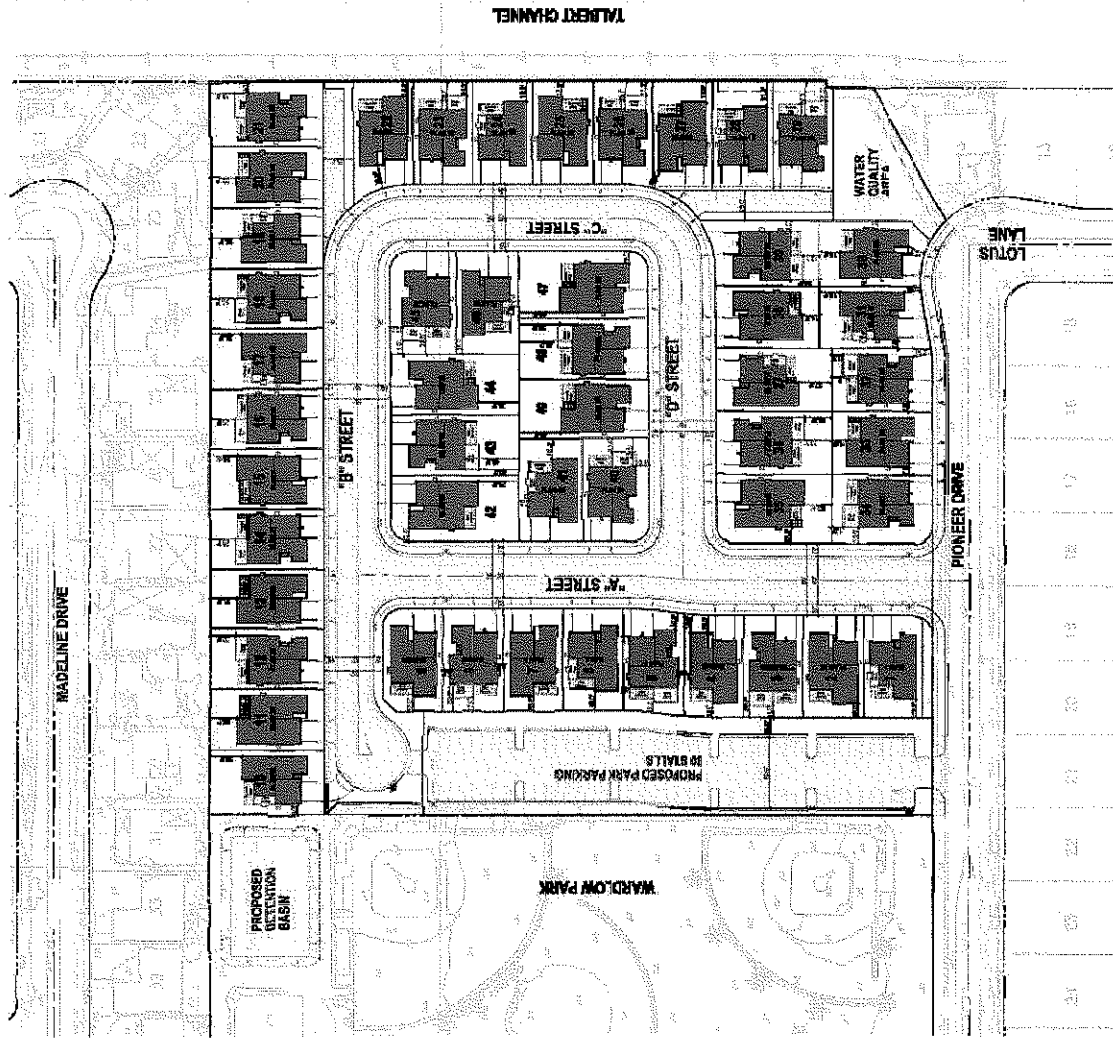
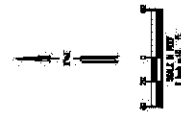


PLAN TYPE 2
SCALE 1/8" = 1'-0"

PLAN TYPE 1
SCALE 1/8" = 1'-0"

PLAN TYPE 3
SCALE 1/8" = 1'-0"

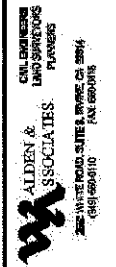
Site Summary
 Total Homes : 48
 Gross Site Area : 55.35 Acres
 Future Park Dedication : 50.83 Acres
 Net Site Area : 47.52 Acres
 Density : 25.5 Homes/Acre
 Minimum Lot Size : 50'x265' (4,250 s.f.)

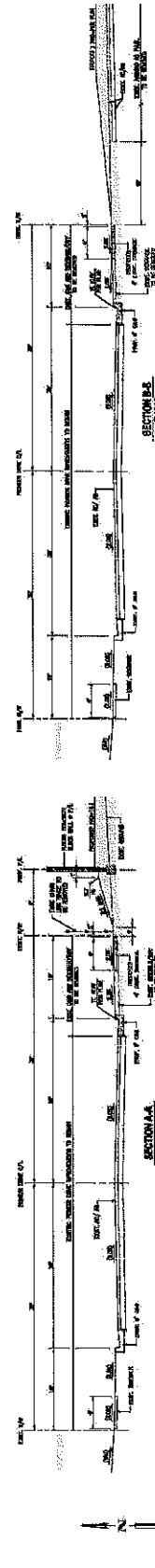
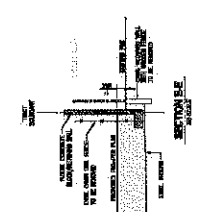
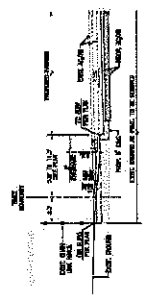
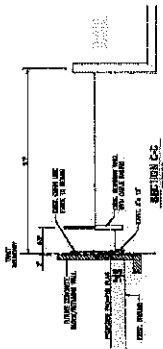
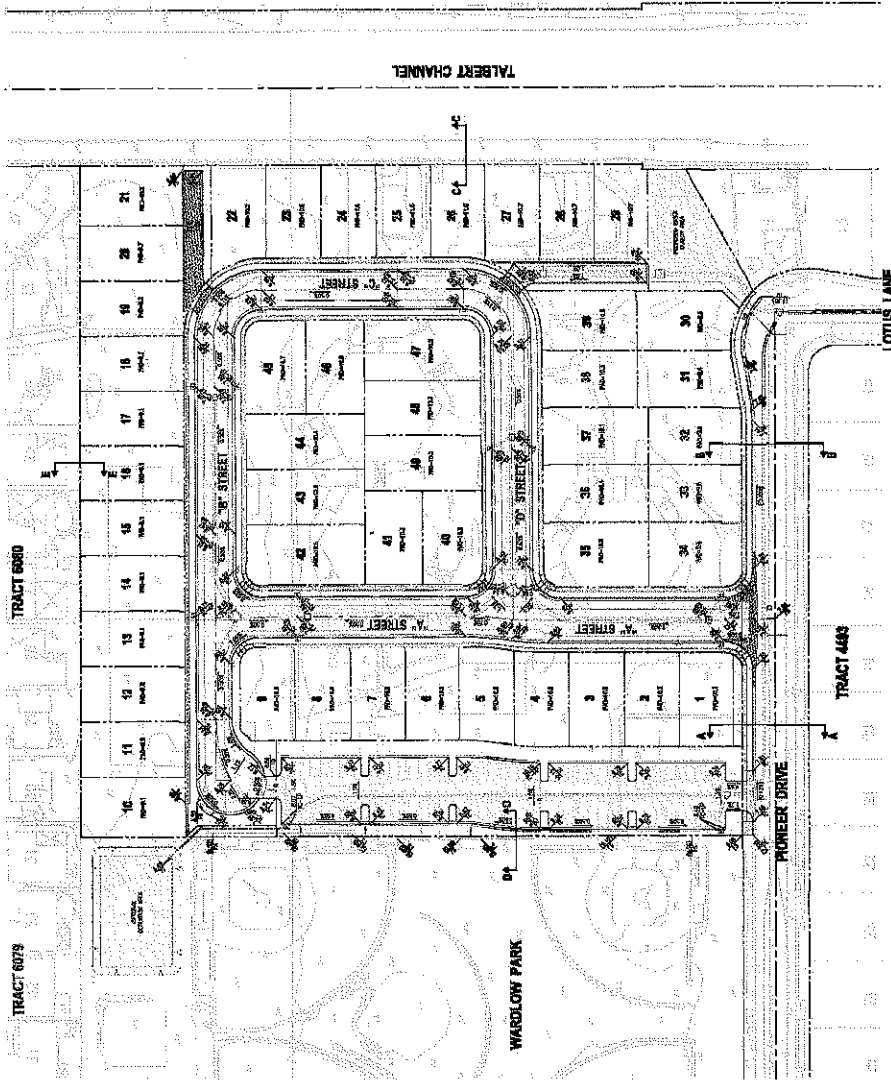


TECHNICAL SITE PLAN
07.09.12



FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA





PRELIMINARY GRADING PLAN

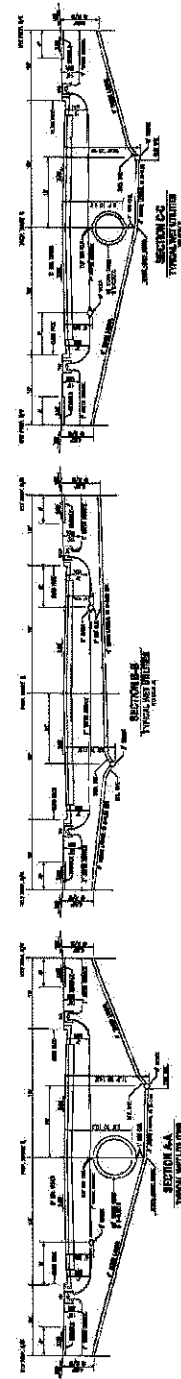
07.09.12



C.2

FORMER WARDLOW SCHOOL SITE HUNTINGTON BEACH, CALIFORNIA

WALDEN & ASSOCIATES
CIVIL ENGINEERS
LAND SURVEYORS
PLANNERS
2000 WILSON AVENUE, SUITE 200
HUNTINGTON BEACH, CA 92648

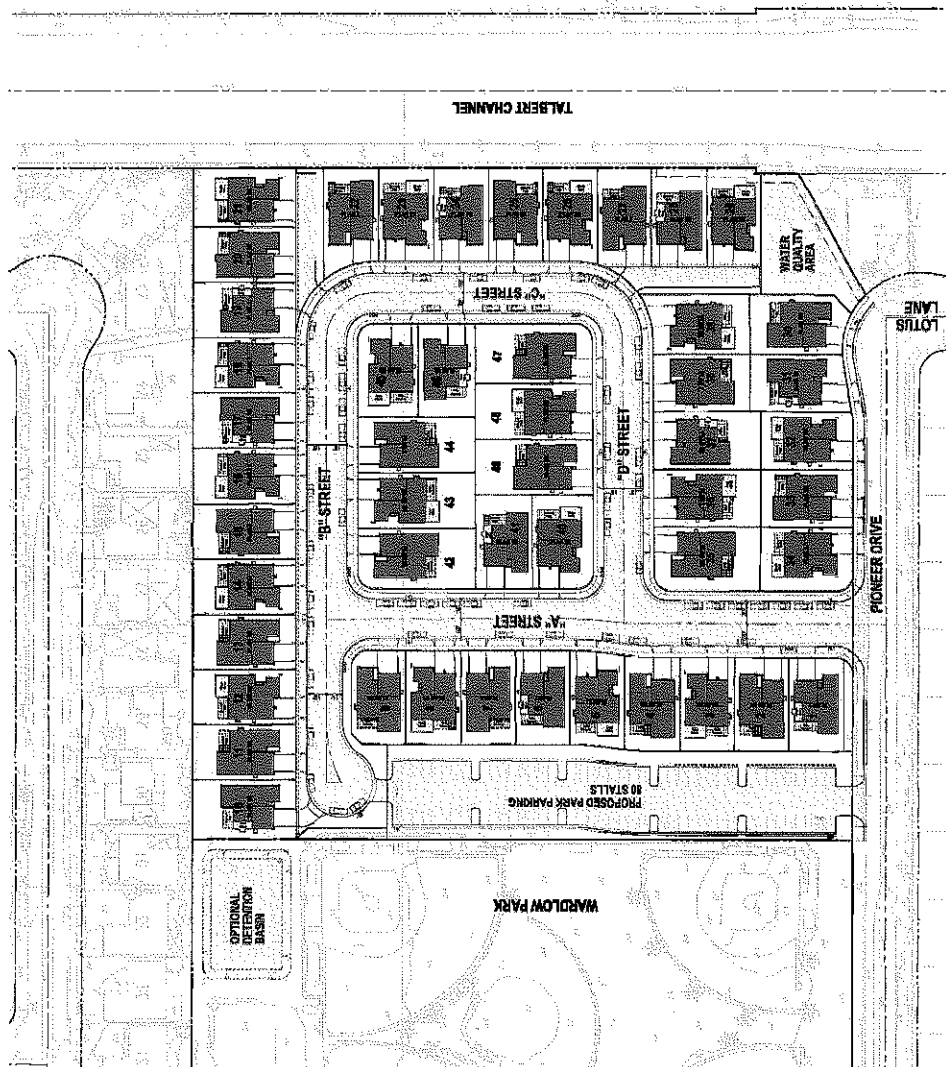


Pointe

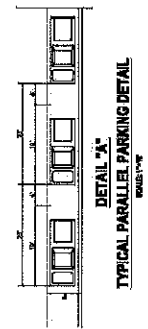
FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA

ALDEN & ASSOCIATES
CIVIL ENGINEERS
LAND SURVEYORS
PLANNERS

2225 VILLAGE PK. SUITE 2, IRVINE, CA 92614
(949) 261-8730 FAX: (949) 4413



PARKING CALCULATION
 ON-STREET RESIDENT PARKING = 56 SPACES
 PUBLIC PARK PARKING = 80 SPACES



PRELIMINARY PARKING PLAN

07.08.12
C.4
Pointe
 CIVIL ENGINEERS
 1000 W. 10TH AVE.
 SUITE 200
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1111

FORMER WARDLOW SCHOOL SITE HUNTINGTON BEACH, CALIFORNIA



WA
 ALDEN &
 ASSOCIATES
 CIVIL ENGINEERS
 LAND SURVEYORS
 PLANNERS
 2825 IMPERIAL AVENUE, SUITE 200
 HUNTINGTON BEACH, CA 92646
 TEL: 714.961.1111
 FAX: 714.961.1111

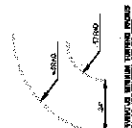
[illegible][illegible]

HERNANDEZ -
STONES -
CONSTRUCTION TYPE -
BUILDING -
SHEETS -

REG. CLAIM NO. "FIRE LANE" SUBMITTED AT 200. 1000 CREDIT INVESTIGATION NO. 458

FIRE LANE INVESTIGATION

REFERENCE: 200. 1000 CREDIT INVESTIGATION NO. 458. 1000 CREDIT INVESTIGATION



NOTE: DETAILS FOR VOYAGE ONLY. SEE SIZE, COLOR, LETTER PRINT, AND SMALL COPY.



FIRE MASTER PLAN
07-09-12

ALDEN & ASSOCIATES
CIVIL ENGINEERS
LAND SURVEYORS
PLANNERS

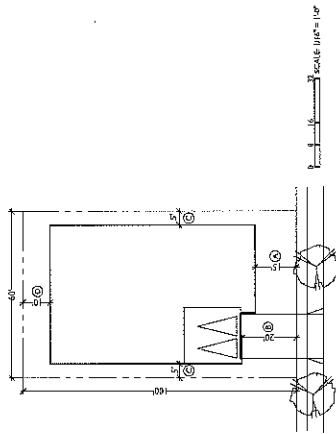
2502 WHITE ROAD, SUITE A, RYAN, CA 92574
(561) 693-8711 FAX: 693-0418

FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA

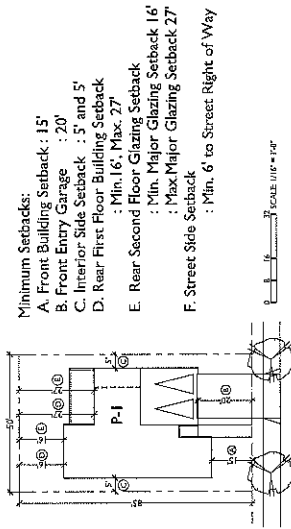
C-5

Pointe

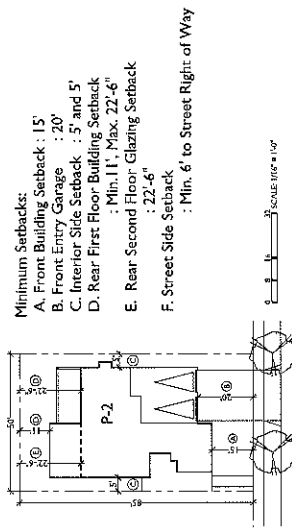
1000 S. GATEWAY
SUITE 200
SAN ANTONIO, TX 78216
TEL: 214/591-1111
FAX: 214/591-1112



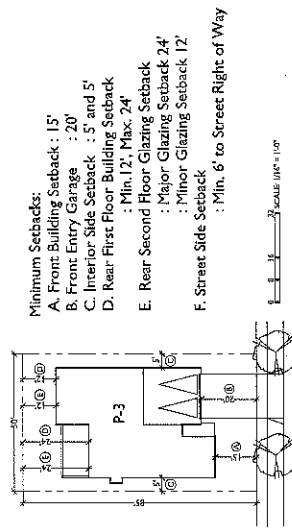
- Minimum Setbacks:**
- A. Front Building Setback : 15'
 - B. Front Entry Garage : 20'
 - C. Interior Side Setback : 5'
- Minimum 10% of Lot width, but not less than 3' and need not exceed 5' except lots > 50' wide shall use minimum 10% of the lot width.
- D. Rear Building Setback : 10'
 - E. Rear Second Floor Building Setback : Not Provided
 - F. Street Side Setback : Min. 6', Max. 10'



- Minimum Setbacks:**
- A. Front Building Setback : 15'
 - B. Front Entry Garage : 20'
 - C. Interior Side Setback : 5' and 5'
 - D. Rear First Floor Building Setback : Min. 16', Max. 27'
 - E. Rear Second Floor Glazing Setback : Min. Major Glazing Setback 16'
 - F. Street Side Setback : Max. Major Glazing Setback 27'
- : Min. 6' to Street Right of Way

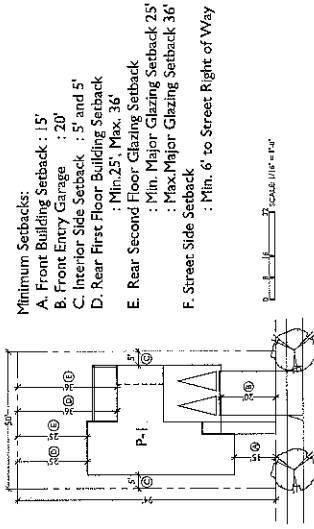


- Minimum Setbacks:**
- A. Front Building Setback : 15'
 - B. Front Entry Garage : 20'
 - C. Interior Side Setback : 5' and 5'
 - D. Rear First Floor Building Setback : Min. 11', Max. 22'-6"
 - E. Rear Second Floor Glazing Setback : 22'-6"
 - F. Street Side Setback : 12'
- : Min. 6' to Street Right of Way

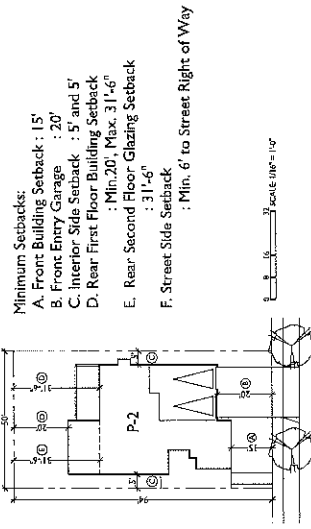


- Minimum Setbacks:**
- A. Front Building Setback : 15'
 - B. Front Entry Garage : 20'
 - C. Interior Side Setback : 5' and 5'
 - D. Rear First Floor Building Setback : Min. 12', Max. 24'
 - E. Rear Second Floor Glazing Setback : Major Glazing Setback 24'
 - F. Street Side Setback : Minor Glazing Setback 12'
- : Min. 6' to Street Right of Way

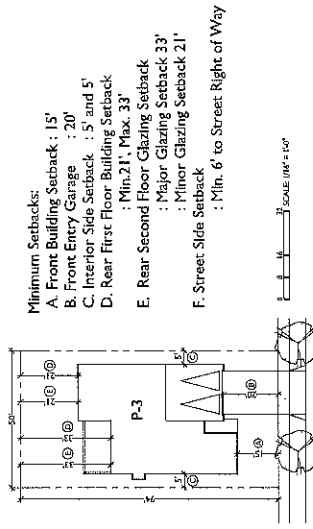
Proposed Minimum Development Standards:
Interior lots and Perimeter lots not adjacent to existing homes



- Minimum Setbacks:**
- A. Front Building Setback : 15'
 - B. Front Entry Garage : 20'
 - C. Interior Side Setback : 5' and 5'
 - D. Rear First Floor Building Setback : Min. 25', Max. 36'
 - E. Rear Second Floor Glazing Setback : Min. Major Glazing Setback 25'
 - F. Street Side Setback : Max. Major Glazing Setback 36'
- : Min. 6' to Street Right of Way

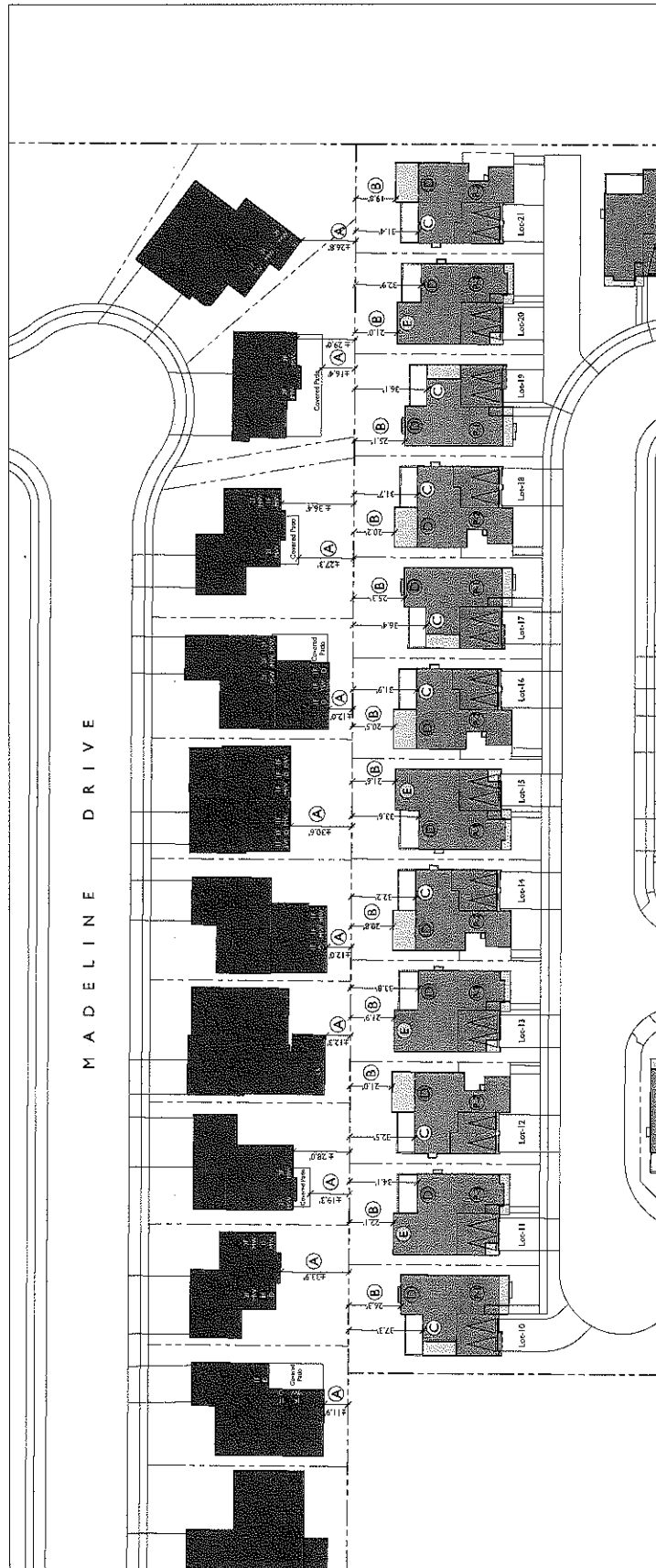


- Minimum Setbacks:**
- A. Front Building Setback : 15'
 - B. Front Entry Garage : 20'
 - C. Interior Side Setback : 5' and 5'
 - D. Rear First Floor Building Setback : Min. 20', Max. 31'-6"
 - E. Rear Second Floor Glazing Setback : 31'-6"
 - F. Street Side Setback : 21'
- : Min. 6' to Street Right of Way

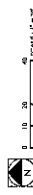


- Minimum Setbacks:**
- A. Front Building Setback : 15'
 - B. Front Entry Garage : 20'
 - C. Interior Side Setback : 5' and 5'
 - D. Rear First Floor Building Setback : Min. 21', Max. 33'
 - E. Rear Second Floor Glazing Setback : Major Glazing Setback 33'
 - F. Street Side Setback : Minor Glazing Setback 21'
- : Min. 6' to Street Right of Way

PROPOSED BUILDING SETBACKS
Proposed Minimum Development Standards:
Perimeter lots adjacent to existing homes

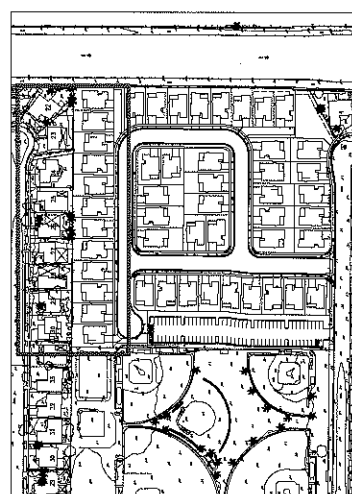


Lot 10- Lot 21



- IF : First Floor
- 2F : Second Floor
- SW : Small Window
- MW : Medium Window
- LG : Large Window
- D : Door
- LS : Dense Landscaping
Windows not Visible

- (A) : Approximate Minimum Rear Building Setback from property line for existing homes
- (B) : Minimum Rear Building Setback from property line
- (C) : Second Story Primary Windows (Operable Windows)
: Accessible viewing (i.e. Master Bedroom Window)
- (D) : Second Story Secondary Windows (Minimal/Obstructed Viewing)
: Not easily accessible (i.e. Master Bath Window)
- (E) : Second Story Tertiary Windows (High Glass)
: Non-view window (i.e. High Glass Clerestory Window for daylight)



Key Site Map
Not to Scale

ADJACENT PROPERTY
WINDOW LOCATIONS -
EXISTING TO PROPOSED

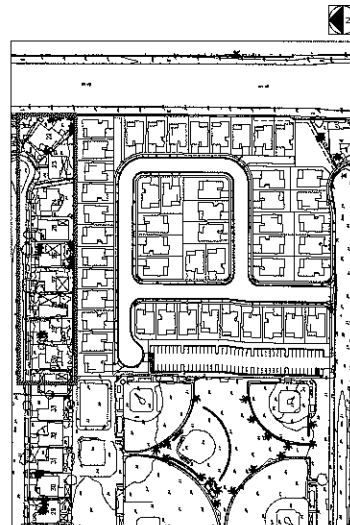
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SP.2

FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA

Bassenian | Lagoni
ARCHITECTURE - PLANNING - INTERIORS
667.120.17



Key Site Map
Not to Scale

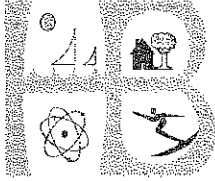
SITE EDGE - ADJACENT
EXISTING HOMES

07.09.12

Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS
097.12017

FORMER WARDLOW SCHOOL SITE
HUNTINGTON BEACH, CALIFORNIA

SP.3 **TRI Pointe**
HUNTINGTON BEACH, CALIFORNIA
07.09.12



City of Huntington Beach

2000 MAIN STREET

CALIFORNIA 92648

DEPARTMENT OF PLANNING AND BUILDING

www.huntingtonbeachca.gov

Planning Division
714.536.5271

Building Division
714.536.5241

July 23, 2012

Michael C. Adams Associates
P.O. Box 382
Huntington Beach, CA 92648

**SUBJECT: GENERAL PLAN AMENDMENT NO. 08-04/ ZONING MAP AMENDMENT NO. 08-04/ ENVIRONMENTAL ASSESSMENT NO. 08-12/ CONDITIONAL USE PERMIT NO. 08-25/ TENTATIVE TRACT MAP 17239 (WARDLOW RESIDENTIAL SUBDIVISION)
PROJECT IMPLEMENTATION CODE REQUIREMENTS**

Dear Mr. Adams,

In order to assist you with your development proposal, staff has reviewed the project and identified applicable city policies, standard plans, and development and use requirements, excerpted from the City of Huntington Beach Zoning & Subdivision Ordinance and Municipal Codes. This list is intended to help you through the permitting process and various stages of project implementation.

It should be noted that this requirement list is in addition to any "conditions of approval" adopted by the Planning Commission. Please note that if the design of your project or site conditions change, the list may also change.

If you would like a clarification of any of these requirements, an explanation of the Huntington Beach Zoning & Subdivision Ordinance and Municipal Codes, or believe some of the items listed do not apply to your project, and/or you would like to discuss them in further detail, please contact me at AGonzales@surfcity-hb.org or (714) 374-1547 and/or the respective source department (contact person below).

Sincerely,


Andrew Gonzales
Associate Planner

Enclosures:

Fire Department requirements dated December 27, 2011
Community Services Department dated January 3, 2012
Public Works Department dated January 9, 2012
Planning Division requirements dated July 23, 2012

ATTACHMENT NO. 4.1

Cc: Herb Fauland, Planning Manager
Jason Kelley, Senior Planner
Mark Carnahan, Building Division
Debbie Debow, Public Works
Jim Brown, Fire Department
Joe Morelli, Fire Department
Luis Gomez, Economic Development
Tom Grable, Tri Pointe Homes, LLC, 20201 SW Birch Street, Ste. No. 100, Newport
Beach, CA 92660
Fountain Valley School District, 10055 Slater Avenue, Fountain Valley, CA 92708
Project File



CITY OF HUNTINGTON BEACH FIRE DEPARTMENT

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: DECEMBER 27, 2011

PROJECT NAME: WARDLOW RESIDENTIAL SUBDIVISION

ENTITLEMENTS: PLANNING APPLICATION NO. 08-123

PROJECT LOCATION: 9191 PIONEER DRIVE, 92646 (NORTH SIDE OF PIONEER DRIVE, EAST OF MAGNOLIA AVENUE), HUNTINGTON BEACH, CA

PLANNER: ANDREW GONZALES, ASSOCIATE PLANNER

TELEPHONE/E-MAIL: (714) 374-1547/ AGONZALES@SURFCITY-HB.ORG

PLAN REVIEWER-FIRE: DARIN MARESH, FIRE DEVELOPMENT SPECIALIST

TELEPHONE/E-MAIL: (714) 536-5531/ DMARESH@SURFCITY-HB.ORG

PROJECT DESCRIPTION: TO REVIEW DEVELOPMENT CONCEPT PLANS FOR THE SUBDIVISION AND DEVELOPMENT OF AN APPROXIMATELY 8.35-ACRE SITE (FORMERLY WARDLOW SCHOOL) FOR THE PURPOSES OF CREATING 50 NEW RESIDENTIAL LOTS WITH NEW SINGLE-FAMILY RESIDENCES. THE PROPOSED PROJECT WILL BE DESIGNED AS A PLANNED UNIT DEVELOPMENT UTILIZING VARYING LOTS SIZES AT 4,250 SQ. FT. (50 FT. X 85 FT.). THE PROJECT ALSO PROPOSED TO PROVIDE FOR ADDITIONAL PUBLIC PARKING FOR THE ADJACENT CITY PARK (APPROXIMATELY 28 SPACES ON 0.48 ACRES) AND AN INCREASED SETBACK OF 15 FT. FROM THE ADJACENT PARK BALL FIELD.

The following is a list of code requirements deemed applicable to the proposed project based on plans received and dated December 7, 2011. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer- Fire: DARIN MARESH, FIRE DEVELOPMENT SPECIALIST.

PRIOR TO DEMOLITION, GRADING, SITE DEVELOPMENT, ISSUANCE OF GRADING PERMITS, BUILDING PERMITS, AND/OR CONSTRUCTION, THE FOLLOWING SHALL BE REQUIRED:

Fire Apparatus Access

Fire Access Roads shall be provided and maintained in compliance with City Specification # 401, *Minimum Standards for Fire Apparatus Access*. Driving area shall be capable of supporting a fire apparatus (75,000 lbs and 12,000 lb point load). Minimum fire access road width is twenty-four feet (24') wide, with thirteen feet six inches (13' 6") vertical clearance. Fire access roads

fronting commercial buildings shall be a minimum width of twenty-six feet (26') wide, with thirteen feet six inches (13' 6") vertical clearance. For Fire Department approval, reference and demonstrate compliance with City Specification # 401 *Minimum Standards for Fire Apparatus Access* on the plans. (FD)

Fire Hydrants and Water Systems

Fire Hydrants are required. Hydrants must be portrayed on the site plan. Hydrants shall be installed and in service **before** combustible construction begins. Installation of hydrants and service mains shall meet NFPA 13 and 24, 2002 Edition, Huntington Beach Fire Code Appendix B and C, and City Specification # 407 Fire Hydrant Installation Standards requirements. Maximum allowed velocity of fire flow in supply piping is 12 fps. Plans shall be submitted to Public Works and approved by the Public Works and Fire Departments. For Fire Department approval, portray the fire hydrants and reference compliance with NFPA 13 and 24, 2002 Edition, Huntington Beach Fire Code Appendix B and C, and City Specification #407 Fire Hydrant Installation Standards in the plan notes. (FD)

Fire Suppression Systems

Fire Sprinklers

Residential (NFPA 13D) Automatic Fire Sprinklers are required. NFPA 13D automatic fire sprinkler systems are required per Huntington Beach Fire Code for new residential one and two family dwellings.

Separate plans (three sets) shall be submitted to the Fire Department for permits and approval.

Automatic fire sprinkler systems must be maintained operational at all times.

For Fire Department approval, reference that a fire sprinkler system will be installed in compliance with the Huntington Beach Fire Code, NFPA 13, and City Specification # 420 - *Automatic Fire Sprinkler Systems* in the plan notes.

NOTE: When buildings under construction are more than one (1) story in height and required to have automatic fire sprinklers, the fire sprinkler system shall be installed and operational to protect all floors lower than the floor currently under construction. Fire sprinkler systems for the current floor under construction shall be installed, in-service, inspected and approved prior to beginning construction on the next floor above. (FD)

Addressing and Street Names

Residential (SFD) Address Numbers shall be installed to comply with City Specification #428, Premise Identification. Number sets are required on front of the structure in a contrasting color with the background and shall be a minimum of four inches (4") high with one and one half inch (½") brush stroke. For Fire Department approval, reference compliance with City Specification

#428, Premise Identification in the plan notes and portray the address location on the building.
(FD)

THE FOLLOWING CONDITIONS SHALL BE MAINTAINED DURING CONSTRUCTION:

- a. Fire/Emergency Access And Site Safety shall be maintained during project construction phases in compliance with HBFC Chapter 14, Fire Safety During Construction And Demolition. (FD)
- b. Fire/Emergency Access And Site Safety shall be maintained during project construction phases in compliance with City Specification #426, Fire Safety Requirements for Construction Sites. (FD)

OTHER:

- a. Discovery of additional soil contamination or underground pipelines, etc., must be reported to the Fire Department immediately and the approved work plan modified accordingly in compliance with City Specification #431-92 Soil Clean-Up Standards. (FD)
- b. Outside City Consultants The Fire Department review of this project and subsequent plans may require the use of City consultants. The Huntington Beach City Council approved fee schedule allows the Fire Department to recover consultant fees from the applicant, developer or other responsible party. (FD)

Fire Department City Specifications may be obtained at:
Huntington Beach Fire Department Administrative Office
City Hall 2000 Main Street, 5th floor
Huntington Beach, CA 92648
or through the City's website at www.surfcity-hb.org

If you have any questions, please contact the Fire Prevention Division at (714) 536-5411.



**CITY OF HUNTINGTON BEACH
COMMUNITY SERVICES DEPARTMENT
PROJECT IMPLEMENTATION CODE REQUIREMENTS**

DATE: JANUARY 3, 2012

PROJECT NAME: WARDLOW RESIDENTIAL SUBDIVISION

PLANNING APPLICATION NO.: PLANNING APPLICATION NO. 08-123

ENTITLEMENTS: GENERAL PLAN AMENDMENT NO. 08-004; ZONING MAP AMENDMENT NO. 08-004; ENVIRONMENTAL ASSESSMENT NO. 08-012; TENTATIVE TRACT MAP NO. 17239; CONDITIONAL USE PERMIT NO. 08-025

PROJECT LOCATION: 9191 PIONEER DRIVE, 92646 (NORTH SIDE OF PIONEER DRIVE, EAST OF MAGNOLIA AVENUE)

PROJECT PLANNER: ANDREW GONZALES, ASSOCIATE PLANNER

PLAN REVIEWER: DAVE DOMINGUEZ, FACILITIES AND DEVELOPMENT DIVISION

TELEPHONE/E-MAIL: (714) 374-5309/ DDOMINGUEZ@SURFCITY-HB.ORG

PROJECT DESCRIPTION: TO REVIEW DEVELOPMENT CONCEPT PLANS FOR THE SUBDIVISION AND DEVELOPMENT OF AN APPROXIMATELY 8.3-ACRE SITE (FORMERLY WARDLOW SCHOOL) FOR THE PURPOSES OF CREATING 49 NEW RESIDENTIAL LOTS WITH NEW SINGLE-FAMILY RESIDENCES. THE PROPOSED PROJECT WILL BE DESIGNED AS A PLANNED UNIT DEVELOPMENT UTILIZING VARYING LOT SIZES AT APPROXIMATELY 4,250 SQ. FT. (50 FT. X 85 FT.). ALL STREETS, LANDSCAPING, STORM DRAINS AND SEWERS FACILITIES WILL BE PRIVATELY MAINTAINED BY A HOMEOWNERS ASSOCIATION. THE STREETS WILL BE SIZED CONSISTENT WITH CITY PUBLIC STREET STANDARDS, INCLUDING PARKWAYS AND ON-STREET PUBLIC PARKING (36 FT. CURB-TO-CURB INTERIOR STREETS, 4 FT. SIDEWALK, AND 6 FT. PARKWAY ON EACH SIDE). THE PROJECT ALSO PROPOSES TO PROVIDE FOR ADDITIONAL PUBLIC PARKING FOR THE ADJACENT CITY PARK (APPROXIMATELY 80 SPACES ON 0.83 ACRES).

The following is a list of code requirements deemed applicable to the proposed project based on plans received and dated September 6, 2011. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided should the project be approved. If you have any questions regarding these requirements, please contact the Plan Reviewer.

Applicable park and recreation fees defined under Huntington Beach Zoning and Subdivision Ordinance (HBZSO) Chapters 230 – *Site Standards* and 254 – *Dedications and Reservations* shall be applied to the project based upon the proposed development of 81 residential units.



CITY OF HUNTINGTON BEACH

PUBLIC WORKS INTERDEPARTMENTAL COMMUNICATION

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: JANUARY 9, 2012
PROJECT NAME: WARDLOW RESIDENTIAL SUBDIVISION
ENTITLEMENTS: GENERAL PLAN AMENDMENT NO. 2008-004; ZONING MAP AMENDMENT NO. 2008-004; ENVIRONMENTAL ASSESSMENT NO. 2008-012; TENTATIVE TRACT MAP NO. 17239; AND CONDITIONAL USE PERMIT NO. 2008-025
PLNG APPLICATION NO. 2008-0123
DATE OF PLANS: NOVEMBER 6, 2011
PROJECT LOCATION: 9191 PIONEER DRIVE, 92646 (NORTH SIDE OF PIONEER DRIVE, EAST OF MAGNOLIA AVENUE)
PROJECT PLANNER: ANDREW GONZALES, ASSOCIATE PLANNER
TELEPHONE/E-MAIL: (714) 374-1547 / AGONZALES@SURFCITY-HB.ORG
PLAN REVIEWER: BOB MILANI, SENIOR CIVIL ENGINEER *BM*
TELEPHONE/E-MAIL: 714-375-1735 / BOB.MILANI@SURFCITY-HB.ORG

PROJECT DESCRIPTION: TO REVIEW DEVELOPMENT CONCEPT PLANS FOR THE SUBDIVISION AND DEVELOPMENT OF AN APPROXIMATELY 8.35-ACRE SITE (FORMERLY WARDLOW SCHOOL) FOR THE PURPOSES OF CREATING 50 NEW RESIDENTIAL LOTS WITH NEW SINGLE-FAMILY RESIDENCES. THE PROPOSED PROJECT WILL BE DESIGNED AS A PLANNED UNIT DEVELOPMENT UTILIZING VARYING LOTS SIZES AT 4,250 SQ. FT. (50 FT. X 85 FT.). THE PROJECT ALSO PROPOSED TO PROVIDE FOR ADDITIONAL PUBLIC PARKING FOR THE ADJACENT CITY PARK (APPROXIMATELY 28 SPACES ON 0.48 ACRES) AND AN INCREASED SETBACK OF 15 FT. FROM THE ADJACENT PARK BALL FIELD.

THE FOLLOWING IS A LIST OF CODE REQUIREMENTS DEEMED APPLICABLE TO THE PROPOSED PROJECT BASED ON THE CONCEPTUAL SITE PLAN RECEIVED FROM TRIPOINT HOMES ON SEPTEMBER 6, 2011.

IT SHALL BE NOTED THAT SINCE THE SUBMITTAL WAS INCOMPLETE AND DID NOT INCLUDE THE FOLLOWING ITEMS, THESE CODE REQUIREMENTS ARE NOT FINAL AND ARE SUBJECT TO CHANGE UPON RECEIPT OF SAID DOCUMENTS:

- PRELIMINARY HYDROLOGY/HYDRAULIC STUDY
- PRELIMINARY WQMP
- PRELIMINARY SEWER STUDY
- PRELIMINARY UTILITY PLAN (SEWER, WATER, STORM DRAIN)
- TENTATIVE TRACT MAP
- TRAFFIC STUDY

ATTACHMENT NO. 4.7

TENTATIVE TRACT MAP NO. 17239

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO
RECORDATION OF THE FINAL TRACT MAP UNLESS OTHERWISE STATED. BONDING MAY
BE SUBSTITUTED FOR CONSTRUCTION IN ACCORDANCE WITH PROVISIONS OF THE
SUBDIVISION MAP ACT:**

1. The following shall be shown as a dedication to the City of Huntington Beach on the final tract map. (ZSO 230.084A & 253.10K)
 - a. The water system and appurtenances for the entire project shall be a public system.
 - b. The sewer system shall be a public system.
 - c. A blanket easement over the private streets and access ways for Police and Fire Department access purposes.
 - d. A blanket easement over the private streets and access ways for water utility and maintenance purposes per City Standard Plan No. 600.
 - e. A blanket easement over the private streets and access ways for sewer utility and maintenance purposes per City Standard Plan No. 500.
 - f. A Public Utility Easement per City Standard Plan No. 104.
 - g. A water utility easement shall be dedicated to and accepted by the City of Huntington Beach, covering the public water facilities and appurtenances located within the project site. The easement shall be a minimum total width of 10-ft clear (5 ft either side of the water pipeline or appurtenance), unobstructed paved or landscaped surface, pursuant to Water Standards. Where access is restricted or impacted by structures, walls, curbs, etc, the easement width shall be 20 feet to allow for equipment access and maintenance operations. No structures, parking spaces, trees, curbs, walls, sidewalks, etc. shall be allowed within the easement. No modifications to the water facilities and pavement located within the easement shall be allowed without proper notification and written approval from the City in advance. Such modifications may include, but are not limited to, connections to the water system, pavement overlay, parking lot re-striping, and parking lot reconfiguration. Utilities Division personnel shall have access to public water facilities and appurtenances at all times. (ZSO 255.04)
2. The storm drain system located within private streets shall be private and maintained by the Homeowner's Association.
3. A final hydrology and hydraulic study for the runoff from this project and its impact to the existing downstream storm drainage system shall be submitted to Public Works for review and approval. This project shall be responsible for mitigating the increased storm water runoff from this property based on the net difference between the existing site condition and the proposed developed condition for 10, 25 and 100-year storms under current County and City criteria. Possible mitigation measures to manage increased storm water runoff may include on-site attenuation and/or construction of downstream drainage improvements per the 2005 Master Plan of Drainage. The study and the proposed drainage improvements shall include on-site, privately maintained clarifiers and/or other devices to control the quality of run-off water from the development. The study shall also justify final pad elevations on the site in conformance with the latest FEMA requirements and City Standard Plan No. 300. (ZSO 255.04)
4. A sewer study shall be submitted for review and approval. (ZSO 255.04)

5. Confirmation from the Orange County Sanitation District (OCSD), to accept the discharge from the new development into the existing OCSD sewer, shall be obtained. A copy shall be provided to the City of Huntington Beach, Public Works Department.
6. A qualified, Licensed Engineer shall prepare a detailed soils and geotechnical analysis. This analysis shall include Phase II Environmental on-site soil sampling in areas not previously investigated and laboratory testing of materials to provide detailed recommendations for grading, chemical and fill properties, liquefaction, foundations, landscaping, dewatering, ground water, retaining walls, pavement sections and utilities. (ZSO 251.06 & 253.12)
7. A Traffic Impact Analysis, prepared by a Licensed Traffic Engineer, shall be submitted to Public Works for review and approval. (GP I-CE 4)
8. The grading and improvement plans shall be submitted to the Department of Public Works for review and approval. The engineer shall submit cost estimates for determining bond amounts. (ZSO 255.16C & MC 17.05)
9. A Homeowners' Association(s) (HOA) shall be formed and described in the CC&R's to manage the following for the total project area:
 - a. On-site sewer and drainage systems
 - b. Best Management Practices (BMP's) as per the approved Water Quality Management Plan (WQMP)
 - c. Onsite landscaping and irrigation improvements

The aforementioned items shall be addressed in the development's CC&R's.

10. The Homeowners' Association (HOA) shall enter into a Special Utility Easement Agreement with the City of Huntington Beach for maintenance and control of the area within the public water pipeline easement, which shall address repair to any enhanced pavement, etc., if the public water pipelines and/or appurtenances require repair or maintenance. The HOA shall be responsible for repair and replacement of any enhanced paving due to work performed by the City in the maintenance and repair of any public water pipeline. The Special Utility Easement Agreement shall be referenced in the CC&R's. (Resolution 2003-29)
11. If the project is developed in phases, then a phasing map shall be submitted for approval by the Planning, Public Works and Fire Departments showing improvements to be constructed. All required infrastructures including all public streets shall be designed with the first phase. The phasing plan shall include public improvements, construction employee parking, utility relocation, material location, and fire access. (ZSO 253.12L)
12. All improvement securities (Faithful Performance, Labor & Material and Monument Bonds) and Subdivision Agreement shall be posted with the Public Works Department and approved as to form by the City Attorney. (ZSO 255.16)
13. A Certificate of Insurance shall be filed with the Public Works Department and approved as to form by the City Attorney. (ZSO 253.12K)
14. All applicable Public Works fees shall be paid. Fees shall be calculated based on the currently approved rate at the time of payment unless otherwise stated. (ZSO 250.16)

CONDITIONAL USE PERMIT NO. 2008-025

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO
ISSUANCE OF A DEMOLITION PERMIT:**

15. Applicant shall provide a consulting arborist report on all the existing trees. Said report shall quantify, identify, size and analyze the health of the existing trees. The report shall also recommend how the existing trees that are to remain (if any) shall be protected and how far construction/grading shall be kept from the trunk. (Resolution 4545)
 - a. Existing mature trees that are to be removed must be replaced at a 2 for 1 ratio with a 36" box tree or palm equivalent (13'-14' of trunk height for Queen Palms and 8'-9' of brown trunk).

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO
ISSUANCE OF A PRECISE GRADING PERMIT:**

16. The Final Tract Map shall be recorded with the County of Orange.
17. A Precise Grading Plan, prepared by a Licensed Civil Engineer, shall be submitted to the Public Works Department for review and approval. Final grades and elevations on the grading plans shall not vary by more than 1-foot from the grades and elevations on the approved tentative tract map and site plan, unless otherwise required by these development requirements and/or conditions of approval, and as directed by the Department of Public Works. (MC 17.05/ZSO 255.04)
18. Improvement Plans, prepared by a Licensed Civil Engineer, shall be submitted to the Public Works Department for review and approval. (MC 17.05/ZSO 255.04) The following improvements shall be shown on the plan:
 - a. New curb, gutter, sidewalk and new pavement to the centerline of Pioneer Drive per City Standard Plan Nos. 102, 202 and 207, along the Pioneer Drive frontage within a 30-foot half-street right-of-way. (ZSO 255.04)
 - b. Twenty-five foot radius curb returns, with the appropriate right-of-way dedication, shall be constructed at all Pioneer Drive intersections. (ZSO 255.04)
 - c. Curb ramps compliant with current ADA requirements shall be installed at all intersection curb returns. (ADA)
 - d. All driveways on Pioneer Drive shall be removed and replaced with curb, gutter and sidewalk constructed per City Standard Plans 202 and 207. (ZSO 230.84)
 - e. The City Park parking lot driveway shall be constructed per Public Works Standard Plan No. 211. (ZSO 255.04)
 - f. All onsite cul-de-sacs and street knuckles shall be designed and constructed per City Standard Plan Nos. 105 and 106. (ZSO 255.04)
 - g. A 25-foot sight triangle shall be provided at all the intersections of this project. (ZSO 230.88)
 - h. The sewer facilities shall be designed per the final approved sewer study and City Standards.
 - i. All drainage facilities shall be designed per the final approved hydrology and hydraulics study and current County and City Standards. Note that once the storm water from the

- proposed development is treated per the project WQMP, it shall be contained in an acceptable storm drain pipeline. (ZSO 255.04)
- j. A public on-site looped water system with two connections to the City's public water system along Yorktown Avenue shall be constructed per Water Standards. The water main shall be a minimum of 8-inches in size. (ZSO 255.04)
 - k. Each dwelling unit shall have a separate domestic water service and meter, installed per Water Standards, and sized to meet the minimum requirements set by the California Plumbing Code (CPC). The domestic water service shall be a minimum of 1-inch in size. (ZSO 255.044)
 - l. Each separate landscaping area (i.e., Homeowner's Association (HOA) property, public common landscaping area(s), proposed City Park, etc.) shall have a separate irrigation meter(s) and service(s). The irrigation water service(s) shall be a minimum of 1-inch in size. (ZSO 232)
 - m. Separate backflow protection devices shall be installed per Water Standards for all irrigation water services. (Resolution 5921 and Title 17)
 - n. The existing domestic water services and meters shall be abandoned per Water Standards. (ZSO 255.04)
 - o. Due to the current State mandate to conserve water, the applicant shall implement water conservation measures and water efficient fixtures in the building and landscaping design to minimize adverse impacts to the City's current water supply. The landscaping design and plant material proposed for the City Park shall be drought tolerant and water efficient. (MC 14.18)
- 19. Street lighting levels shall be adequately provided on Yorktown Avenue along the project frontage. Submit a photometric study, with calculations, showing the lighting levels for the roadway and pedestrian areas on Yorktown Avenue. If new street lights are required based on the photometric study, the street lighting plans shall be prepared by a Licensed Civil or Electrical Engineer and submitted to the Public Works Department for review and approval. Lighting standards shall be per the City of Huntington Beach guidelines. (ZSO 230.84)
 - 20. A privately maintained street lighting system, consistent with City standards, shall be constructed along the private streets and access ways in this subdivision. A photometric analysis shall be provided which demonstrates that such lighting will not negatively impact the existing residences to the north. (ZSO 255)
 - 21. A signing and striping plan for this project shall be prepared by a Licensed Civil or Traffic Engineer and be submitted to the Public Works Department for review and approval. The plans shall be prepared according to the City of Huntington Beach Signing and Striping Plan Preparation Guidelines. (ZSO 230.84)
 - 22. Traffic Control Plans, prepared by a Licensed Civil or Traffic Engineer, shall be prepared in accordance with the latest edition of the City of Huntington Beach Construction Traffic Control Plan Preparation Guidelines and submitted for review and approval by the Public Works Department. (Construction Traffic Control Plan Preparation Guidelines)
 - 23. A Landscape and Irrigation Plan, prepared by a Licensed Landscape Architect shall be submitted to the Public Works Department for review and approval by the Public Works and Planning Departments. (ZSO 232.04)

- a. Existing mature trees that are to be removed must be replaced at a 2 for 1 ratio with a 36" box tree or palm equivalent (13'-14' of trunk height for Queen Palms and 8'-9' of brown trunk).
 - b. "Smart irrigation controllers" and/or other innovative means to reduce the quantity of runoff shall be installed. (ZSO 232.04D)
 - c. Standard landscape code requirements apply. (ZSO 232)
- 24. All landscape planting, irrigation and maintenance shall comply with the City Arboricultural and Landscape Standards and Specifications. (ZSO 232.04B)
- 25. Landscaping plans should utilize native, drought-tolerant landscape materials where appropriate and feasible. (DAMP)
- 26. The Consulting Arborist (approved by the City Landscape Architect) shall review the final landscape tree planting plan and approve in writing the selection and locations proposed for new trees and the protection measures and locations of existing trees to remain. Said Arborist report shall be incorporated onto the Landscape Architect's plans as construction notes and/or construction requirements. The report shall include the Arborist's name, certificate number and the Arborist's wet signature on the final plan. (Resolution-4545)
- 27. Prior to the issuance of any grading or building permits for projects that will result in soil disturbance of one or more acres of land, the applicant shall demonstrate that coverage has been obtained under the Waste Discharge Requirements for Discharges of Storm Water Runoff Associated with Construction and Land Disturbance Activities (Order No. 2009-0009-DWQ) [General Construction Permit] by providing a copy of the Notice of Intent (NOI) submitted to the State of California Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP) conforming to the current National Pollution Discharge Elimination System (NPDES) requirements shall be submitted to the Department of Public Works for review and acceptance. A copy of the current SWPPP shall be kept at the project site and another copy to be submitted to the City. (DAMP)
- 28. A Project Water Quality Management Plan (WQMP) conforming to the current Waste Discharge Requirements Permit for the County of Orange (Order No. R8-2009-0030) [MS4 Permit] prepared by a Licensed Civil Engineer, shall be submitted to the Department of Public Works for review and acceptance. The WQMP shall address Section XII of the MS4 Permit and all current surface water quality issues and shall include the following:
 - a. Low Impact Development.
 - b. Discusses regional or watershed programs (if applicable).
 - c. Addresses Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas.
 - d. Incorporates the applicable Routine Source Control BMPs as defined in the Drainage Area Management Plan. (DAMP)
 - e. Incorporates Treatment Control BMPs as defined in the DAMP.
 - f. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs.

- g. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs.
- h. Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs.
- i. Includes an Operations and Maintenance (O&M) Plan for all structural BMPs.
- j. After incorporating plan check comments of Public Works, three final WQMPs (signed by the owner and the Registered Civil Engineer of record) shall be submitted to Public Works for acceptance. After acceptance, two copies of the final report shall be returned to applicant for the production of a single complete electronic copy of the accepted version of the WQMP on CD media that includes:
 - i. The 11" by 17" Site Plan in .TIFF format (400 by 400 dpi minimum).
 - ii. The remainder of the complete WQMP in .PDF format including the signed and stamped title sheet, owner's certification sheet, Inspection/Maintenance Responsibility sheet, appendices, attachments and all educational material.
- k. The applicant shall return one CD media to Public Works for the project record file.

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLIED WITH DURING GRADING OPERATIONS:

- 29. All construction materials, wastes, grading or demolition debris and stockpiles of soils, aggregates, soil amendments, etc. shall be properly covered, stored and secured to prevent transport into surface or ground waters by wind, rain, tracking, tidal erosion or dispersion. (DAMP). Contractor shall ensure that a Qualified SWPPP Practitioner (QSP) is continually implementing the project SWPPP.
- 30. An Encroachment Permit is required for all work within the City's right-of-way. (MC 12.38.010/MC 14.36.030)

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- 31. A Precise Grading Permit shall be issued.

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO FINAL INSPECTION OR OCCUPANCY OF FIRST UNIT:

- 32. Complete all improvements as shown on the approved grading, and landscape and improvement plans. (MC 17.05)
- 33. The current tree code requirements shall apply to this site. (ZSO 232)
 - a. Existing trees to remain on site shall not be disfigured or mutilated, (ZSO 232.04E), and,
 - b. General tree requirements, regarding quantities and sizes, (ZSO 232.08B and C).

34. All landscape irrigation and planting installation shall be certified to be in conformance to the City approved landscape plans by the Landscape Architect of record in written form to the City Landscape Architect. (ZSO 232.04D)
35. Applicant shall provide City with CD media TIFF images (in City format) and CD (AutoCAD only) copy of complete City Approved landscape construction drawings as stamped "Permanent File Copy" prior to starting landscape work. Copies shall be given to the City Landscape Architect for permanent City record.
36. Prior to the first occupancy of Phase 1 (excluding model homes), all associated onsite and offsite improvements, including the public park, as shown on the approved grading, landscape and improvement plans shall be completed. Prior to the first occupancy of each succeeding phase, all associated onsite improvements as shown on the approved grading, landscape and improvement plans shall be completed. (MC 17.05)
37. Prior to grading or building permit close-out and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall:
 - c. Demonstrate that all structural Best Management Practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.
 - d. Demonstrate all drainage courses, pipes, gutters, basins, etc. are clean and properly constructed.
 - e. Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP.
 - f. Demonstrate that an adequate number of copies of the approved Project WQMP are available for the future occupiers.
38. All landscape, irrigation and hardscape improvements for the public park shall be completed. The park shall be temporarily fenced for a period of 15 months following the completion of park improvements to allow for a 90-day plant establishment and one-year maintenance period to be completed by the applicant. All potential buyers of the new residential units and all property owners and occupants within a 1000-foot radius of the subject property shall receive written notification of the delayed opening of the public park. Evidence of the written notification shall be submitted to the Department of Public Works. (Resolution 4545)
39. Traffic impact fees shall be paid at the rate applicable at the time of Building Permit Issuance. This project will be assessed a traffic impact fee based on the projected additional trips calculated by City staff or the approved Traffic Impact Analysis. (MC 17.65)
40. All existing overhead utilities along the project's frontage shall be undergrounded. (ZSO 255.04G)
41. All new utilities shall be undergrounded. (MC 17.64)
42. All applicable Public Works fees shall be paid at the current rate unless otherwise stated, per the Public Works Fee Schedule adopted by the City Council and available on the city web site at http://www.surfcity-hb.org/files/users/public_works/fee_schedule.pdf. (ZSO 240.06/ZSO 250.16)
43. The Water Ordinance #14.52, the "Water Efficient Landscape Requirements" apply for projects with 2500 square feet of landscaping and larger. (MC 14.52)



**CITY OF HUNTINGTON BEACH
PLANNING AND BUILDING DEPARTMENT
PLANNING DIVISION**

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: JULY 23, 2012

PROJECT NAME: WARDLOW RESIDENTIAL SUBDIVISION

PLANNING APPLICATION NO. PLANNING APPLICATION NO. 08-123

ENTITLEMENTS: GENERAL PLAN AMENDMENT NO. 08-004; ZONING MAP AMENDMENT NO. 08-004; ENVIRONMENTAL ASSESSMENT NO. 08-012; TENTATIVE TRACT MAP NO. 17239; CONDITIONAL USE PERMIT NO. 08-025

DATE OF PLANS: MAY 18, 2012

PROJECT LOCATION: 9191 PIONEER DRIVE, 92646 (NORTH SIDE OF PIONEER DRIVE, EAST OF MAGNOLIA AVENUE)

PLAN REVIEWER: ANDREW GONZALES, ASSOCIATE PLANNER

TELEPHONE/E-MAIL: (714) 374-1547/ AGONZALES@SURFCITY-HB.ORG

PROJECT DESCRIPTION: TO REVIEW DEVELOPMENT CONCEPT PLANS FOR THE SUBDIVISION AND DEVELOPMENT OF AN APPROXIMATELY 8.3-ACRE SITE (FORMERLY WARDLOW SCHOOL) FOR THE PURPOSES OF CREATING 49 NEW RESIDENTIAL LOTS WITH NEW SINGLE-FAMILY RESIDENCES. THE PROPOSED PROJECT WILL BE DESIGNED AS A PLANNED UNIT DEVELOPMENT UTILIZING VARYING LOT SIZES AT APPROXIMATELY 4,250 SQ. FT. (50 FT. X 85 FT.). ALL STREETS, LANDSCAPING, STORM DRAINS AND SEWERS FACILITIES WILL BE PRIVATELY MAINTAINED BY A HOMEOWNERS ASSOCIATION. THE STREETS WILL BE SIZED CONSISTENT WITH CITY PUBLIC STREET STANDARDS, INCLUDING PARKWAYS AND ON-STREET PUBLIC PARKING (36 FT. CURB-TO-CURB INTERIOR STREETS, 4 FT. SIDEWALK, AND 6 FT. PARKWAY ON EACH SIDE). THE PROJECT ALSO PROPOSES TO PROVIDE FOR ADDITIONAL PUBLIC PARKING FOR THE ADJACENT CITY PARK (APPROXIMATELY 80 SPACES ON 0.83 ACRES).

The following is a list of code requirements deemed applicable to the proposed project based on plans stated above. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided should final project approval be received. If you have any questions regarding these requirements, please contact the Plan Reviewer.

TENTATIVE TRACT MAP NO. 17239:

1. Prior to submittal of the final tract to the Public Works Department for processing and approval, the following shall be required:
 - a. An Affordable Housing Agreement in accord with Section 230.26 of the Huntington Beach Zoning and Subdivision Ordinance (HBZSO). **(HBZSO Section 230.26)**
 - b. At least 90 days before City Council action on the final map, CC&Rs shall be submitted to the Planning and Building Department and approved by the City Attorney. The CC&Rs shall identify the common driveway access easements, and maintenance of all walls and common landscape areas by the Homeowners' Association. The CC&Rs must be in recordable form prior to recordation of the map. **(HBZSO Section 253.12.H)**
 - c. Final parcel tract map review fees shall be paid, pursuant to the fee schedule adopted by resolution of the City Council (*City of Huntington Beach Planning and Building Department Fee Schedule*). **(HBZSO Section 254.16)**
 - d. Park Land In-Lieu Fees shall be paid pursuant to the requirements of HBZSO Section 254.08 – *Parkland Dedications*. The fees shall be paid and calculated according to a schedule adopted by City Council resolution (*City of Huntington Beach Planning and Building Fee Schedule*). **(Ordinance No. 3562, Resolution Nos. 2002-56 and 2002-57)**
2. Prior to submittal for building permits, an application for address assignment, along with the corresponding application processing fee and applicable plans (as specified in the address assignment application form), shall be submitted to the Planning and Building Department. The application shall be submitted a minimum of 14 days prior to permit submittal. **(City Specification No. 409)**
3. Prior to issuance of a grading permit, the final map shall be recorded with the County of Orange. **(HBZSO Section 253.22)**
4. Prior to issuance of Building Permits, a Mitigation Monitoring Fee for a Mitigated Negative Declaration shall be paid to the Planning and Building Department pursuant to the fee schedule adopted by resolution of the City Council. **(City of Huntington Beach Planning and Building Department Fee Schedule)**
5. During demolition, grading, site development, and/or construction, all requirements of the Huntington Beach Zoning and Subdivision Ordinance and Municipal Code including the Noise Ordinance shall be adhered to. All activities including truck deliveries associated with construction, grading, remodeling, or repair shall be limited to Monday – Saturday, 7:00 AM to 8:00 PM. Such activities are prohibited Sundays and Federal holidays. **(HBMC 8.40.090)**
6. The Departments of Planning and Building, Public Works and Fire shall be responsible for ensuring compliance with all conditions of approval herein as noted after each condition. The Planning and Building Director and Public Works Director shall be notified in writing if any changes to the tract map are proposed during the plan check process. Permits shall not be issued until the Planning and Building Director and Public Works Director have reviewed and approved the proposed changes for conformance with the intent of the Planning Commission's action and the conditions herein. If the proposed changes are of a substantial nature, an amendment to the original entitlement reviewed by the Planning Commission may be required pursuant to the HBZSO. **(HBZSO Section 241.10)**

7. Tentative Tract No. 17239 shall not become effective until the ten (10) calendar day appeal period has elapsed from Planning Commission action. **(HBZSO Section 251.12)**
8. Tentative Tract No. 17239, General Plan Amendment No. 08-04, Zoning Map Amendment No. 08-04, and Conditional Use Permit No. 08-25 shall become null and void unless exercised within two (2) years of the date of final approval. An extension of time may be granted by the Director of Planning and Building pursuant to a written request submitted to the Planning and Building Department a minimum 60 days prior to the expiration date. **(HBZSO Section 251.14 and 251.16)**
9. The subdivision shall comply with all applicable requirements of the Municipal Code, Building Division, and Fire Department, as well as all applicable local, State and Federal Codes, Ordinances and standards, except as noted herein. **(City Charter, Article V)**
10. Construction shall be limited to Monday – Saturday 7:00 AM to 8:00 PM. Construction shall be prohibited Sundays and Federal holidays. **(HBMC 8.40.090)**
11. The applicant shall submit a check in the amount of \$50 for the posting of a Notice of Determination at the County of Orange Clerk's Office. The check shall be made out to the County of Orange and submitted to the Planning and Building Department within two (2) days of the Planning Commission's action. **(California Code Section 15094)**
12. All landscaping shall be maintained in a neat and clean manner, and in conformance with the HBZSO. Prior to removing or replacing any landscaped areas, check with the Departments of Planning and Building and Public Works for Code requirements. Substantial changes may require approval by the Planning Commission. **(HBZSO Section 232.04)**

CONDITIONAL USE PERMIT NO. 08-25:

1. The site plan, floor plans, and elevations approved by the Planning Commission shall be the conceptually approved design with the following modifications:
 - a. Parking lot striping shall comply with Chapter 231 of the Zoning and Subdivision Ordinance and Title 24, California Administrative Code. **(HBZSO Chapter 231)**
 - b. The site plan shall include all utility apparatus, such as but not limited to, backflow devices and Edison transformers. Utility meters shall be screened from view from public right-of-ways. Backflow prevention devices shall be not be located in the front yard setback and shall be screened from view. **(HBZSO Section 230.76)**
 - c. All exterior mechanical equipment shall be screened from view on all sides. Rooftop mechanical equipment shall be setback a minimum of 15 feet from the exterior edges of the building. Equipment to be screened includes, but is not limited to, heating, air conditioning, refrigeration equipment, plumbing lines, ductwork and transformers. Said screening shall be architecturally compatible with the building in terms of materials and colors. If screening is not designed specifically into the building, a rooftop mechanical equipment plan showing proposed screening must be submitted for review and approval with the application for building permit(s). **(HBZSO Section 230.76)**
 - d. The site plan and elevations shall include the location of all gas meters, water meters, electrical panels, air conditioning units, mailboxes (as approved by the United States Postal Service), and

similar items. If located on a building, they shall be architecturally integrated with the design of the building, non-obtrusive, not interfere with sidewalk areas and comply with required setbacks. **(HBZSO Section 230.76)**

- e. All parking area lighting shall be energy efficient and designed so as not to produce glare on adjacent residential properties. Security lighting shall be provided in areas accessible to the public during nighttime hours, and such lighting shall be on a time-clock or photo-sensor system. **(HBZSO 231.18.C)**
 - f. Project data information shall include the flood zone, base flood elevation and lowest building floor elevation(s) per NAVD88 datum. **(HBZSO Section 222.10.F)**
2. Prior to issuance of demolition permits, the following shall be completed:
- a. The applicant shall follow all procedural requirements and regulations of the South Coast Air Quality Management District (SCAQMD) and any other local, state, or federal law regarding the removal and disposal of any hazardous material including asbestos, lead, and PCB's. These requirements include but are not limited to: survey, identification of removal methods, containment measures, use and treatment of water, proper truck hauling, disposal procedures, and proper notification to any and all involved agencies. **(AQMD Rule 1403)**
 - b. Pursuant to the requirements of the South Coast Air Quality Management District, an asbestos survey shall be completed. **(AQMD Rule 1403)**
 - c. The applicant shall complete all Notification requirements of the South Coast Air Quality Management District. **(AQMD Rule 1403)**
 - d. The City of Huntington Beach shall receive written verification from the South Coast Air Quality Management District that the Notification procedures have been completed. **(AQMD Rule 1403)**
 - e. All asbestos shall be removed from all existing buildings prior to demolition of any portion of any onsite building. **(AQMD Rule 1403)**
 - f. Existing mature trees that are to be removed must be replaced at a 2 for 1 ratio with a 36" box tree or palm equivalent (13'-14' of trunk height for Queen Palms and 8'-9' of brown trunk). **(CEQA Categorical Exemption Section 15304)**
3. Prior to issuance of grading permits, the following shall be completed:
- a. Prior to submittal of a landscape plan, the applicant shall provide a Consulting Arborist report on all the existing trees. Said report shall quantify, identify, size and analyze the health of the existing trees. The report shall also recommend how the existing trees that are to remain (if any) shall be protected and how far construction/grading shall be kept from the trunk. **(Resolution No. 4545)**
 - b. A Landscape and Irrigation Plan, prepared by a Licensed Landscape Architect shall be submitted to the Planning and Building Department for review and approval. **(HBZSO Section 232.04)** (For private properties)

- c. A Landscape and Irrigation Plan, prepared by a Licensed Landscape Architect shall be submitted to the Public Works Department for review and approval. **(HBZSO Section 232.04)** *(For public properties)*
 - d. "Smart irrigation controllers" and/or other innovative means to reduce the quantity of runoff shall be installed. **(HBZSO Section 232.04.D)**
 - e. Standard landscape code requirements apply. **(HBZSO Chapter 232)**
 - f. All landscape planting, irrigation and maintenance shall comply with the City Arboricultural and Landscape Standards and Specifications. **(HBZSO Section 232.04.B)**
 - g. Landscaping plans should utilize native, drought-tolerant landscape materials where appropriate and feasible. **(HBZSO Section 232.06.A)**
 - h. A Consulting Arborist (approved by the City Landscape Architect) shall review the final landscape tree-planting plan and approve in writing the selection and locations proposed for new trees. Said Arborist signature shall be incorporated onto the Landscape Architect's plans and shall include the Arborist's name, certificate number and the Arborist's wet signature on the final plan. **(Resolution No. 4545)**
4. Prior to submittal for building permits, the following shall be completed:
- a. The Planning and Building Department shall review and approve the following:
 - 1) Special architectural treatment provided on all building walls.
 - 2) Revised site plan and elevations as modified pursuant to Condition No. 1.
 - 3) Proposed structures and/or building additions for architectural compatibility with existing structures. **(HBZSO Section 244.06)**
 - b. Residential type structures on the subject property, whether attached or detached, shall be constructed in compliance with the State acoustical standards. Evidence of compliance shall consist of submittal of an acoustical analysis report and plans, prepared under the supervision of a person experienced in the field of acoustical engineering, with the application for building permit(s). **(General Plan Policy N 1.2.1)**
5. Prior to issuance of building permits, the following shall be completed:
- a. An Affordable Housing Agreement in accord with Section 230.26 of the ZSO. **(HBZSO Section 230.26)**
 - b. A Mitigation Monitoring Fee for mitigated negative declarations shall be paid to the Planning and Building Department pursuant to the fee schedule adopted by resolution of the City Council. **(City of Huntington Beach Planning and Building Department Fee Schedule)**
6. During demolition, grading, site development, and/or construction, all Huntington Beach Zoning and Subdivision Ordinance and Municipal Code requirements including the Noise Ordinance. All activities including truck deliveries associated with construction, grading, remodeling, or repair shall be limited to Monday - Saturday 7:00 AM to 8:00 PM. Such activities are prohibited Sundays and Federal holidays. **(HBMC 8.40.090)**

7. The structure(s) cannot be occupied, the final building permit(s) cannot be approved, and utilities cannot be released for the first residential unit until the following has been completed:
 - a. Complete all improvements as shown on the approved grading, landscape and improvement plans. **(HBMC 17.05)**
 - b. All trees shall be maintained or planted in accordance to the requirements of Chapter 232. **(HBZSO Chapter 232)**
 - c. All landscape irrigation and planting installation shall be certified to be in conformance to the City approved landscape plans by the Landscape Architect of record in written form to the Planning and Building Department. **(HBZSO Section 232.04.D)**
 - d. An onsite 36" box tree or the palm equivalent shall be provided in the front yard, and a 24" box tree shall be provided in the parkway to meet the Huntington Beach; Zoning and Subdivision Ordinance, the Arboricultural and Landscape Standards and Specifications, and the Municipal Code. **(HBZSO Section 232.08, Resolution 4545, HBMC 13.50)**
 - e. The provisions of the Water Efficient Landscape Requirements shall be implemented. **(HBMC 14.52)**
8. The Development Services Departments (Planning and Building, Fire, and Public Works) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval. The Director of Planning and Building may approve minor amendments to plans and/or conditions of approval as appropriate based on changed circumstances, new information or other relevant factors. Any proposed plan/project revisions shall be called out on the plan sets submitted for building permits. Permits shall not be issued until the Development Services Departments have reviewed and approved the proposed changes for conformance with the intent of the Planning Commission's action. If the proposed changes are of a substantial nature, an amendment to the original entitlement reviewed by the Planning Commission may be required pursuant to the provisions of HBZSO Section 241.18. **(HBZSO Section 241.18)**
9. Conditional Use Permit No. 08-25 shall not become effective until General Plan Amendment No. 08-04 and Zoning Map Amendment No. 08-04 has been approved by the City Council and is in effect. **(HBZSO Section 247.16)**
10. Conditional Use Permit No. 08-25 shall become null and void unless exercised within one year of the date of final approval or such extension of time as may be granted by the Director pursuant to a written request submitted to the Planning and Building Department a minimum 30 days prior to the expiration date. **(HBZSO Section 241.16.A)**
11. Conditional Use Permit No. 08-25 shall not become effective until the appeal period following the approval of the entitlement has elapsed. **(HBZSO Section 241.14)**
12. The Planning Commission reserves the right to revoke Conditional Use Permit No. 08-25 pursuant to a public hearing for revocation, if any violation of the conditions of approval, Huntington Beach Zoning and Subdivision Ordinance or Municipal Code occurs. **(HBZSO Section 241.16.D)**
13. The project shall comply with all applicable requirements of the Municipal Code, Building Division, and Fire Department, as well as applicable local, State and Federal Fire Codes, Ordinances, and standards, except as noted herein. **(City Charter, Article V)**

14. Construction shall be limited to Monday – Saturday 7:00 AM to 8:00 PM. Construction shall be prohibited Sundays and Federal holidays. **(HBMC 8.40.090)**
15. The applicant shall submit a check in the amount of \$50.00 for the posting of the Notice of Determination at the County of Orange Clerk's Office. The check shall be made out to the County of Orange and submitted to the Planning and Building Department within two (2) days of the Planning Commission's approval of entitlements. **(California Code Section 15094)**
16. All landscaping shall be maintained in a neat and clean manner, and in conformance with the HBZSO. Prior to removing or replacing any landscaped areas, check with the Departments of Planning and Building and Public Works for Code requirements. Substantial changes may require approval by the Planning Commission. **(HBZSO Section 232.04)**